ZONING INFORMATIONCCTION — 41 COCK — 61 OT — 8

— 22,942.4 SQ FT

ZONE — RESIDENCE.A

HOUSE NO. — 100 WOODMERE BLVD SOUTH

HAMLET — INCORPORATED VILLAGE OF WOODSBURG

OCCUPANCY GROUP — SINGLE FAMILY RESIDENTIAL

THIS PROJECT REQUIRES VARIANCES - SEE SHEET A002 FOR ADDITIONAL ZONING INFORMATION

DRAWING INDEX

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6 OF 18	A100	SITE PLAN
7 OF 18	A101	FOUNDATION PLAN DRYWALL NOTES & DETAILS
8 OF 18	A102	1ST FLOOR PLAN 2ND FLOOR PLAN
9 OF 18	A103	ROOF PLAN DOOR & WINDOW SCHEDULES
10 OF 18	A104	REFLECTED CEILING / LIGHTING PLANS 1ST & 2ND FLOORS
11 OF 18	A201	EXTERIOR ELEVATIONS (NORTH & WEST)
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18 OF 18	M101	MECHANICAL PLANS

SCOPE OF WORK

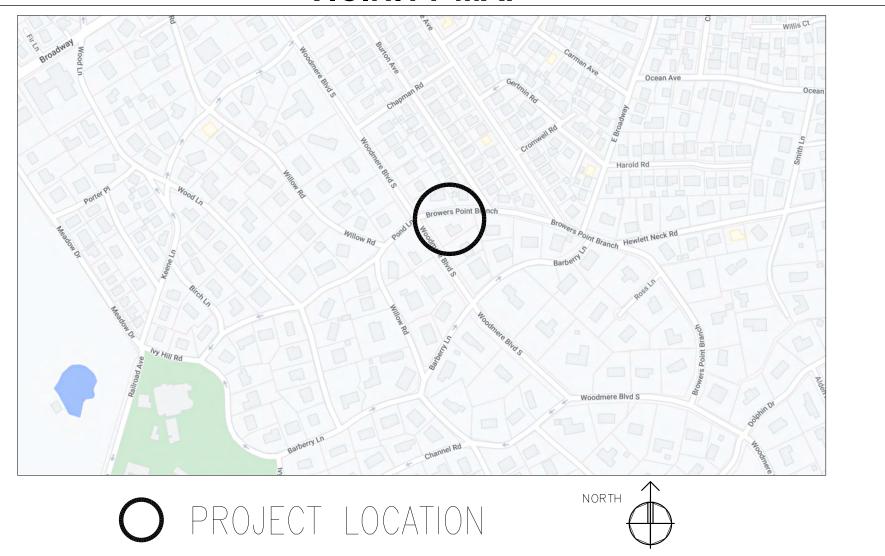
2ND FLOOR ADDITION ABOVE GARAGE - NEW FAMILY ROOM & LAUNDRY ROOM, MASTER SUITE ADDITION OVER EXISTING BEDROOMS, 1ST & 2ND FLOOR ENTRY AREA ADDITION, NEW DECK, RECONFIGURE EXISTING BEDROOMS, REBUILD EXISTING STAIRS, NEW FLOORING & RADIANT HEATING THROUGHOUT, NEW STANDING SEAM METAL ROOFING, NEW STONE & STUCCO AT FACADE, NEW WINDOWS & DOORS AT AREAS OF WORK ONLY

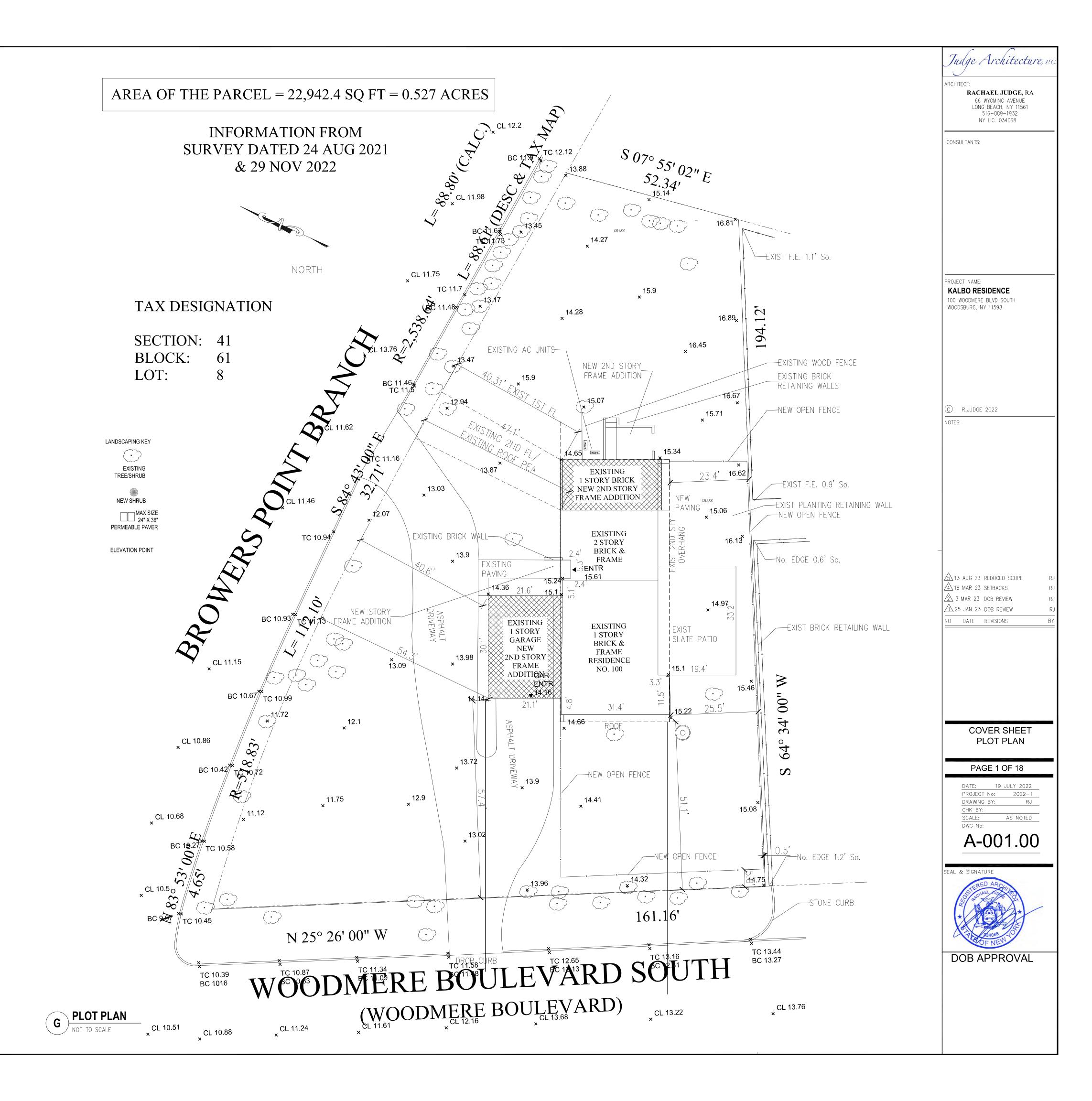
EXTERIOR WORK - NEW RETAINING WALLS & FENCING, NEW OUTDOOR KITCHEN, NEW POOL & SPA, NEW PAVING (BOTH PERVIOUS & IMPERVIOUS), NEW CHILDREN'S PLAYHOUSE, NEW DRY WELLS, NEW SHED, NEW PERGOLA, NEW PLANTING BEDS

MECHANICAL - NEW MINI SPLIT SYSTEM MECHANICAL UNITS

PLUMBING - NEW RADIANT FLOORING THROUGHOUT, NEW 2ND FLOOR LAUNDRY ROOM, NEW MASTER BATHROOM - 3 EXISTING BATHROOMS TO REMAIN - EXISTING KITCHEN & 1ST FLOOR LAUNDRY TO REMAIN

VICINITY MAP





ZONING ANALYSIS

ZONING ANALYSIS:	CODE SECTION:	PERMITTED	EXISTING	PROPOSED	COMPLIANT / NON-COMPLIANT
LOT AREA (SF)	150-8	20,000 MIN	22,942.40	22,942.40	COMPLIANT
USE	150-6	SINGLE FAMILY RESIDENTIAL	SINGLE FAMILY RESIDENTIAL	SINGLE FAMILY RESIDENTIAL	COMPLIANT
HEIGHT	150-7	28' PITCHED ROOF/ 25' OTHER ROOF	20'-3"	24'-9"	COMPLIANT
STORIES	150-7	2.5 STORIES MAX	2.0 STORIES	2.0 STORIES	COMPLIANT
HABITABLE FLOOR AREA (MIN) (1)	150-13	2,400 MIN			COMPLIANT
FLOOR AREA (MAX) (2)	150.13.3	5,297.90	3,373.75	4,460.48	COMPLIANT
LOT COVERAGE (SF) ⁽³⁾	150-39(A)	15% (3,441.36)	13.28% (3,046.85)	13.91% (3,191.4)	COMPLIANT
IMPERVIOUS SITE COVERAGE (SF)	150-39(B)	7,265.94	6,956.75	7,104.1	COMPLIANT
FRONT YARD 1 (WOODMERE BLVD)	150-19	50'	51.1' 57.4'	51.1' @ FRONT DEN (FROM WOODMERE BLVD) 57.4' @ EXISTING GARAGE / NEW ADDITION (FROM WOODMERE BLVD)	COMPLIANT COMPLIANT
CORNER LOT FRONT YARD 2 (BOWERS POINT BRANCH)	150-19	50'	54.3' 40.6' 34.916'	54.3' @ FRONT GARAGE 2ND FL EXTENSION (FROM BWOWERS PT) 40.6' @ GARAGE 2ND FL EXTENSION (FROM BROWERS PT) 34.47' @ 2ND FLOOR EXTENSION (FROM BROWERS PT)	COMPLIANT NON-COMPLIANT NON-COMPLIANT
SIDE YARD	150-11	20'	23.4'	22'	COMPLIANT
REAR YARD	150-9	25'	72.75'	72.75'	COMPLIANT
FRONT HEIGHT SETBACK RATIO	150-13.1	0.42	0.25 - FRONT YARD 1 (WOODMERE BLVD) 0.453 - FRONT YARD 2 (BROWARDS PT)	0.40- FRONT YARD 1 - GARAGE ADDITION (WOODMERE BLVD) 0.44 - FRONT YARD 2 - ROOF PEAK GARAGE ADDITION (BROWARDS) 0.52 - FRONT YARD 2 - ROOF LOW POINT GARAGE ADDITION (BROWARDS) 0.62 - FRONT YARD 2 - ROOF PEAK 2ND FL ADDITION (BROWARDS)	COMPLIANT NON-COMPLIANT NON-COMPLIANT NON-COMPLIANT
SIDE HEIGHT SETBACK RATIO	150-13.2	1.05	0.81	0.927	COMPLIANT

ZONING ANALYSIS:	CODE SECTION:	REQUIREMENT	PROPOSED	COMPLIANT / NON-COMPLIANT
AC UNITS	150.50.2	NO AC UNITS ALLOWED IN FRONT YARD NO UNITS WITHIN 15' OF PROPERTY LINE IN SIDE YARD UNIT SHALL BE SUFFICIENTLY SCREENED FROM NEIGHBORING PROPERTY	RELOCATE EXISTING & INSTALL NEW AC UNITS @ SIDE YARD +/- 25' FROM PROPERTY LINE	COMPLIANT
FENCES	150-50 (A)	PERMIT IS REQUIRED FOR ALL FENCING	FENCING TO BE FILED UNDER SEPARATE APPLICATION — FENCING SHOWN FOR SITE PAVING PURPOSES	COMPLIANT
	150-50 (B)	FENCING OTHER THAN POOL FENCING SHALL NOT EXCEED FOUR FEET IN HEIGHT MEASURED FROM NATURAL GRADE ADJACENT TO SUCH FENCE OR WALL POOL FENCING TO BE MINIMUM 4' & MAXIMUM 4'	ALL NON POOL FENCING = MAX 4' TALL	COMPLIANT
	150-50 (C)	NO FENCE ALLOWED WITHIN FIVE FEET (5') OF FRONT PROPERTY LINE — FENCE SHALL NOT EXCEED 50% OF FRONT PROPERTY LINE	FENCE @ FRONT YARD # 1 = 59' - TOTAL FRONT YARD DIMENSION = +/- 161' - 59' = 36.6%	COMPLIANT
	150-50 (D)	ALL FENCES AND WALLS SHALL BE MADE OF FIRST—CLASS MATERIALS AND SHALL BE CONSTRUCTED AND INSTALLED IN THE BEST WORKMANLIKE MANNER KNOWN TO THE TRADE. ALL FENCES AND WALLS SHALL BE STURDY, PLUMB, LEVEL AND TRUE. FENCES MAY BE CONSTRUCTED OF WOOD, MASONRY, METALS, PVC PLASTIC, OR COMBINATIONS THEREOF, OR SUCH OTHER MATERIALS AS MAY BE SATISFACTORY TO THE BOARD OF TRUSTEES (WHICH DETERMINATION MAY BE MADE WITHOUT A PUBLIC HEARING). ALL METAL FENCES SHALL HAVE A PROTECTIVE COATING, AND THOSE FENCES OF A STYLE OR TYPE OF CONSTRUCTION KNOWN AS "CHAIN LINK" OR "CYCLONE" SHALL COMPLY WITH THE SPECIFICATIONS OF THE CHAIN LINK MANUFACTURERS' INSTITUTE. ALL WOOD FENCES SHALL HAVE WOOD POSTS SPACED NOT MORE THAN 12 FEET APART. THAT PORTION OF ANY FENCE, OR ITS SUPPORT STRUCTURE, EMBEDDED IN THE GROUND SHALL BE EITHER OF NON—ROTTING MATERIALS OR SHALL BE TREATED IN A MANNER TO PREVENT OR MINIMIZE ROTTING. HORIZONTAL RAILS SHALL BE SECURELY FASTENED TO THE POSTS AND SHALL BE OF SUFFICIENT STRENGTH TO SPAN THE DISTANCE BETWEEN THE POSTS. MASONRY FENCES OR WALLS SHALL BE SET ON A CONCRETE FOOTING AT A DEPTH NOT LESS THAN 18 INCHES INTO THE GROUND.	FENCING SHALL COMPLY WITH MIN REQUIREMENTS OF MATERIALS POSTS TO BE MIN 10' OC FOOTING DEPTH TO BE MIN 18"	COMPLIANT
	150-50 (F)	FINISHED SIDE OF FENCES SHALL FACE ADJOINING PREMISES OR STREET, FENCES OTHER THAN OPEN TYPE (NOT INCLUDING CHAIN LINK) SHALL BE LOCATED A DISTANCE FROM THE PROPERTY LINE SUFFICIENT TO PERMIT APPROPRIATE LANDSCAPING TO BE PLACED & MAINTAINED ON THE PROPERTY OF THE APPLICANT BETWEEN THE FENCE AND PROPERTY LINE TO SCREEN FENCE	SIDE YARD FENCING TO BE INSTALLED WITH ROOM TO MAINTAIN EXISTING PLANTING WHICH SCREENS NEIGHBORING FENCING	COMPLIANT

(1) MAXIMUM FLOOR AREA 150-13.3 =3,000 SQ FT + .21X LOT AREA OVER 12,000 SQ FT = LOT AREA = 22,942.4 (10,942.4 OVER) X .21 $10,942.4 \times .21 = 2,297.90$

(2) LOT COVERAGE 150-39(A) = LOT AREA $X 15\% = 22,942.40 \times 15\% = 3,441.36$

(3) IMPERVIOUS SITE COVERAGE 150-39(B) = 6,560 + 0.24 TIMESBASE LÒT AREA OVER 20,001 = LOT AREA = 22,942.4 (2,941.4 OVER) X .24

> $2,941.4 \times .24 = 705.94$ + 6,560.0 = 7,265.94

+ 3,000.00

= 5,297.90

(4) MEAN GRADE @ PROPERTY LINE 12.83'

(5) SET BACK RATIO OVER GARAGE:

HIGHEST POINT (CLOSEST TO WOODMERE BLVD): HEIGHT 22.75' GRADE @ GARAGE 14.14' MEAN GRADE @ BROWARD PROPERTY LINE = 12.77' SETBACK 54.3'

14.14 - 12.77 = 1.371.37 + 22.755 = 23.9423.94 / 54.3 = 0.44 H/s RATIO

LOWEST POINT (FARTHEST FROM WOODMERE BLVD): HEIGHT 19.396' GRADE @ GARAGE 14.35' MEAN GRADE @ BROWARD PROPERTY LINE = 12.77'

14.35 - 12.77 = 1.581.58 + 19.396 = 20.977

SETBACK 40.6'

20.967 / 40.6 = 0.52 H/s RATIO

(6) SET BACK RATIO @ 2ND FLOOR ADDITION

HIGHEST POINT (FARTHEST FROM WOODMERE BLVD): HEIGHT 22.96' GRADE @ HIGH POINT- 15.5625' MEAN GRADE @ BROWARD PROPERTY LINE = 12.77'

SETBACK 39.73' 15.56 - 12.77 = 2.792.79 + 22.96 = 25.75

25.75 / 39.73 = 0.65 H/s RATIO

HIGHEST POINT: HEIGHT 22.75'

GRADE @ GARAGE 14.35' MEAN GRADE @ WOODMERE PROPERTY LINE = 14.14' SETBACK 57.4'

(7) SET BACK RATIO OVER GARAGE TO WOODMERE BLVD:

14.35 - 14.14 = 0.210.21 + 22.75 = 22.9622.96 / 57.4 = 0.4 H/s RATIO EXISTING AREAS: **BUILDING AREAS:**

A (1ST FLOOR AREA) -2,191 SF B (BOILER RM AREA) 73 SF 467 SF C (GARAGE AREA) D (2ND FLOOR AREA) -642.75 SF TOTAL EXISTING BUILDING AREA -3,373.75

EXISTING IMPERVIOUS SURFACE COVERAGE:

BUILDING COVERAGE (AREAS A/B/C+EAVES) -P1 - DRIVEWAY AREA (3058 LESS OH AREA ABOVE) 3,049 SF P2 - SIDE YARD PATIO 768.5 SF P3- FRONT WALKWAY AREA 142.8 SF P4 - REAR RETAINING WALLS & WALKWAY 68.5 SF P5 - EXISTING BRICK WALL @ ENTRY 2.8 SF

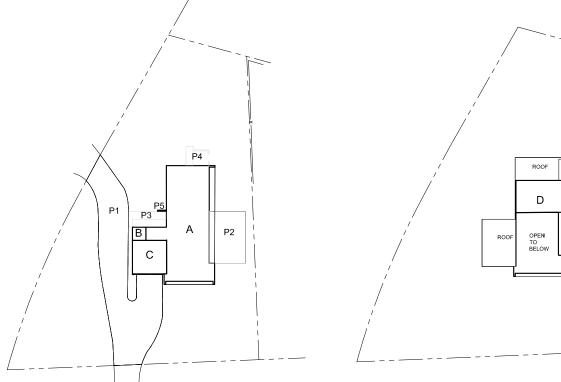
TOTAL EXISTING IMPERVIOUS AREA

BUILDING ROOFLINE

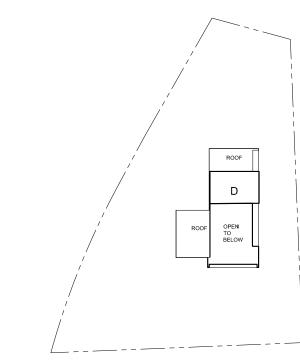
RETAINING WALLS

EXISTING LOT COVERAGE:

2.8 SF BRICK WALL @ ENTRY TOTAL EXISTING LOT COVERAGE 3,046.85 SF



EXISTING AREAS - 1ST FLOOR EXISTING AREAS - 2ND FLOOR





7,052.35 SF

3,191.4 SF

3,020.75 SF

23.3 SF

PROPOSED AREAS:

BUILDING AREAS:

A (EXISTING 1ST FLOOR AREA) -2,191 SF B (EXISTING BOILER RM AREA) 73 SF C (EXISTING GARAGE AREA) 467 SF D (EXISTING 2ND FLOOR AREA) -642.75 SF E (EXISTING OPEN TO BELOW) - N/A F NEW - 2ND FLOOR OVER GARAGE FAMILY RM) 658.35 SF G NEW -2ND FLOOR (OVER MASTER SUITE) 428.38 SF

TOTAL PROPOSED BUILDING AREA -4,460.48 SF

PROPOSED LOT COVERAGE

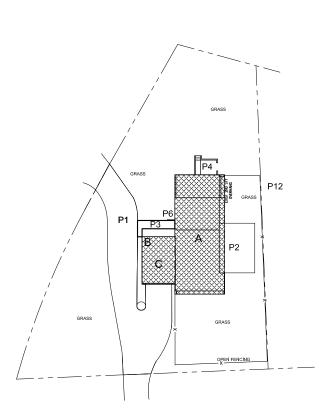
BUILDING AREA ROOFS & OVERHANGS 3,165.3 SF 2.8 SF EXISTING BRICK WALL @ FRONT
EXISTING RETAINING WALLS @ REAR 23.3 SF

TOTAL LOT COVERAGE

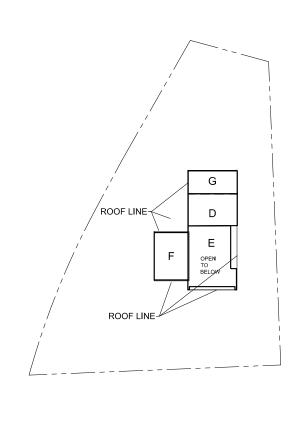
PROPOSED IMPERVIOUS SURFACE COVERAGE:

BUILDING COVERAGE (ROOFS) 3,165.3 SF P1 - EXISTING DRIVEWAY AREA (3,058 LESS 25 SF OF ROOF AREA) 3,049 SF P2 - SIDE YARD PATIO (803.5 SF LESS 127.8 SF OF ROOF AREA) 675.7 SF P3 - FRONT ENTRY WALKWAY AREA 142.8 SF P4 - RETAINING WALLS & WALKWAY @ REAR 68.5 SF 2.8 SF P6 - BRICK WALL @ FRONT

TOTAL PROPOSED IMPERVIOUS AREA 7,104.1 SF



PRPOSED AREAS - 1ST FLOOR



PROPOSED AREAS - 2ND FLOOR

ZONING NOTES, GENERAL NOTES PARTITION DETAILS

Judge Architecture, 1.

RACHAEL JUDGE, RA 66 WYOMING AVENUE LONG BEACH, NY 11561 516-889-1932 NY LIC. 034068

ARCHITECT:

CONSULTANTS:

PROJECT NAME:

KALBO RESIDENCE

WOODSBURG, NY 11598

(C) R.JUDGE 2022

24 16 MAR 23 SETBACKS

3 9 MAR 23 MEAN GRADE

3 MAR 23 DOB REVIEW

1 25 JAN 23 DOB REVIEW NO DATE REVISIONS

NOTES:

100 WOODMERE BLVD SOUTH

PAGE 2 OF 18

DATE:	19	JULY 2022	
PROJECT	No:	2022-1	
DRAWING	BY:	RJ	
CHK BY:			
SCALE:		AS NOTED	
5			_



DOB APPROVAL

B PROPOSED AREA ANALYSIS

SEE EXTERIOR ELEVATION SHEETS A201 & A202 FOR FRONT & SIDE YARD SET BACK RATIOS

GENERAL NOTES

GROUND	WIND	SEISMIC	WINTER	ICE SHEILD	FLOOD		SUBJECT TO I	DAMAGE FROM			WIND [DESIGN	
SNOW LOAD	SPEED (mph)	DESIGN CATEGORY	DESIGN TEMP	UNDERLAYMENT REQUIRED	HAZARDS	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	SPEED (MPH)	TOPO- GRAPHIC	SPECIAL WIND	WINDBORN DEBRIS
										(MPH)	EFFECTS	REGION	ZONE
25	130	N/A	11 °	36" ABOVE ROOFLINE	N/A	SEVERE	36" BOF	MODERATE / HEAVY	SLIGHT / MODERATE	130	NO	NO	1 MILE FROM COAST

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA TABLE R301.2(1)

TO THE BEST OF MY KNOWLEDGE, BELIEF A\ID PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH:

- THE 2020 RESIDENTIAL CODE OF NYS
- THE MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTERS 12-23 OF THE 2020 RESIDENTIAL CODE OF NYS
- THE PLUMBING SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTERS 25-33 OF THE 2020 RESIDENTIAL CODE OF NYS
- THE ELECTRICAL SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTERS 34-42 OF THE 2020 RESIDENTIAL CODE OF NYS
- IN ACCORDANCE WITH 2018 IECC RESIDENTIAL ENERGY EFFICIENCY CODE & 2020 NYS ENERGY EFFICIENCY CODE
- THE PROJECT COMPLIANCE METHOD CHOSEN IS TOTAL UA-ALTERNATIVE AND A RES-CHECK HAS BEEN SUBMITTED WITH THESE DRAWINGS.
- FOUNDATIONS CHAPTER 4; DESIGN BASED UPON PRESUMPTIVE LOAD BEARING VALUES OF SANDY GRAVEL AND/OR GRAVEL AT 2000 LBS. PER SQUARE FOOT. CONTRACTOR TO CONSULT ARCHITECT IF DIFFERENT SOIL MATERIALS ARE FOUND UPON EXCAVATION OR TEST HOLE, FOR ALTERNATIVE FOOTINGS AND FOUNDATION WALL DESIGN

1.00 SURVEY - SURVEY DATA TAKEN FROM SURVEY DATED AUGUST 24, 2022

2.01 EXCAVATION SHALL BE SUFFICIENT TO PROVIDE FULL DESIGN DIMENSIONS TO ALLOW FOR FORMING AS REQUIRED. ALL GRADE BEAMS TO BEAR ON VIRGIN SOIL, PRESSURE ASSUMED BEARING CAP 2 TSF.

2.02 BACK FILL AND COMPACTION — USE CLEAN EARTH CONTAINING NO ORGANIC MATTER, WELL GRADED. FILL BENEATH STRUCTURE SHALL BE COMPACTED TO 95% DENSITY AS PER ASTM D 1557 METHOD D. BACK FILL SHALL NOT BE PLACED AGAINST THE EXISTING FOUNDATION WALLS UNTIL THE CONCRETE IS OF A SUFFICIENT STRENGTH AND THE WALLS ARE BRACED AT BOTH TOP AND BOTTOM BY FRAMING LUMBER OR TEMPORARY BRACING.

2.03 DRAINAGE AT FOOTINGS — AS REQUIRED 4" DIAM. PERFORATED PLASTIC PIPE TO DRY WELL IF SOIL CONDITIONS REQUIRE IT.

3.01 CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE STANDARD.

3.02 CONCRETE SHALL BE A MIN. 3000 PSI CLASS @ 28 DAYS UNLESS NOTED OTHERWISE. PORCHES STEPS, GARAGE FLOOR TO BE 3500 PSI.

3.03 REINFORCING RODS - ASTM A-305:6/6 \times 10/10 WWF ASTM A-185. REINFORCING IN FOOTINGS ONLY WHERE VARIATION IN SOIL CONDITIONS REQUIRE, AND WHERE SOIL DOES NOT PROVIDE 2,500 PSI OR NOTED OTHERWISE.

3.04 FORM WORK SHALL BE WELL BRACED TRUE TO DIMENSION, LEVEL AND PLUMB AND FOUNDATION HAS BEEN DESIGNED FOR GRADES LESS

3.05 VAPOR BARRIER 4 MIL. POLYETHYLENE SHEET LAP ALL EDGES 6". MEMBRANE WATERPROOFING SHALL BE INSTALLED ON ALL SUB-SURFACE EXTERIOR FOUNDATION WALLS.

3.06 FOOTINGS AT DIFFERENT LEVELS SHALL BE STEPPED AND THE STEP RISE AND RUN SHALL BE A MAXIMUM OF 18" VERTICAL TO A MINIMUM OF 36" HORIZONTAL. SEE NEW YORK RESIDENTIAL CODE R403.1.5

4.01 CONCRETE MASONRY UNITS SHALL MEET ASTM C-90 GRADE A; SOLID BLOCK ASTM C-145 GRADE B. SHAPES AS REQUIRED; 28 DAYS

OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSIVE STRENGTH OF BLOCK TO BE 2500 PSI.

4.02 MORTAR TO BE TYPE "N." COMPRESSIVE STRENGTH TO BE 2,000 PSI. 4.03 PARGING — 1 COAT PORTLAND CEMENT PARGING ON ABOVE GRADE CMU. SPONGE FINISH 1/4" AT MASONRY WALLS BELOW GRADE.

5.01 ANCHOR BOLTS SHALL BE 1/2" DIAMETER EMBEDDED 7" IN POURED CONCRETE AND 15"

IN UNIT MASONRY. MIN (2) ANCHOR BOLTS PER SECTION OF PLATE. 12" FROM EACH END WITH INTERMEDIATE BOLTS AS PER CHART ON SHEET GN-2.

5.02 METAL JOIST HANGERS AND TIE-DOWNS SHALL BE USED AT ALL JOISTS WITH DIRECT

BEARING. 18 GA GALVANIZED STEEL. USE ALL NAILS PROVIDED BY MANUFACTURER. BY SIMPSON OR EQUAL. ALL FRAMING TO RECEIVE HURRICANE CLIPS AND TIE-DOWNS AS PER SHEET GN-2.

5.03 NAILS - NUMBER AND TYPE FOR EACH APPLICATION AS CALLED FOR IN THE WFCM (SEE SHEET GN-2).

6.01 SILL PLATE - CA OR ACQ TREATED TO MEET AMERICAN WOOD PRESERVERS INSTITUTE STANDARD.

6.02 WALL STUDS — 2X6 EXTERIOR / 2X4 INTERIOR @ 16" OC SPACING. ALL STRUCTURAL LUMBER SHALL HAVE 1400 Fb BENDING STRESS; 1,000,000 MODULUS OF ELASTICITY AND MAX 19% MOISTURE CONTENT. DOUG FIR NO. 2 OR BETTER UNLESS NOTED OTHERWISE.

6.03 FLOOR CEILING JOIST, ROOF RAFTERS AND GIRDERS - DOUG FIR # 2 OR BETTER UNLESS OTHERWISE NOTED.

6.04 BRIDGING -WOOD CROSS BRIDGING -AS REQUIRED BY CODE. 8'-0" O.C.

6.05 ROOF TRUSSES — DESIGNED AND MANUFACTURED TO MEET ALL APPLICABLE CODES. PROVIDE SHOP DRAWINGS SEALED BY A PROFESSIONAL ENGINEER; FABRICATION CERTIFIED BY ENGINEER PRIOR TO INSTALLATION (AS REQUIRED).

6.06 FLOOR DECK — 3/4" PLYWOOD, STANDARD C—D—X— DFPA, DIRECT BEARING AT EDGES. PROVIDE 1/2" PLYWOOD FINISH UNDERLAYMENT

BELOW ALL VINYL FLOORING OR EQUAL. GLUE TO JOISTS.

6.07 ROOF DECK; SHALL BE CDX - 3/4" PLYWOOD C-D-X-DFPA, EXTERIOR GLUE.

6.08 SHEATHING - PLYWOOD C-D-X-DFPA, EXTERIOR GLUE.

6.09 PLYWOOD — ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF APPLICABLE US COMMERCIAL STANDARDS FOR THE TYPE, GRADE AND SPECIES OF THE PLYWOOD AND SHALL BE SO IDENTIFIED BY AN APPROVED AGENCY.

6.10 CEDAR OR SIMILAR WOOD SIDING UNLESS OTHERWISE NOTED OVER 15LB. FELT OR TYVEK.

6.11 PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.

6.12 PROVIDE (2) 2"X10" HEADERS MIN. OVER ANY WINDOW, DOOR OPENING OR ANY OPENING

WITH DOUBLE UPRIGHTS, 9'-0" AND OVER WITH TRIPLE UPRIGHTS, UNLESS OTHERWISE NOTED. SEE HEADER NOTES ON FLOOR PLAN.

6.13 ALL PRE-ENGINEERED LUMBER SHALL BE GEORGIA PACIFIC GPI SERIES WOOD I-BEAMS AND LVL PRODUCTS OR EQUAL. ALL JOIST, GIRDERS AND HEADERS SHALL HAVE BEARING STIFFENERS INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS. WEB STIFFENERS SHALL BE REQUIRED

AT ALL LOAD AND BEARING POINTS AT A MINIMUM. HANDLING, STORAGE AND ERECTION OF COMPONENTS SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS. 7.00 THERMAL AND MOISTURE PROTECTION 7.01 DAMPPROOFING — BRUSH APPLY ONE COAT OF ASPHALT EMULSION TO EXTERIOR OF ALL BELOW GRADE WALLS. ALSO ADD VAPOR

BARRIER AS PER 3.05.

7.02 SILL SEAL — 1/2" X 5 1/2" COMPRESSIBLE FIBERGLASS BENEATH ALL EXTERIOR SILL PLATES. 7.03 INSULATION - FLOOR- BATT R-38 INSULATION. KRAFT PAPER FACE VAPOR BARRIER, CEILINGS AND ROOFS - FIBERGLASS

BATT R-38 KRAFT PAPER FACED OR AS NOTED OTHERWISE. ALL WALLS TO BE R-19 , BATT INSULATION UNLESS OTHERWISE NOTED. 7.04 ROOFING - 20 YEAR ASPHALT SHINGLE ROOFING

7.05 FLASHING - ALUMINUM FLASHING, LEAD COATED, FLASH ALL WALL PENETRATIONS. FLASH ALL CORNERS. FLASH ALL VALLEYS, RIDGES, WINDOWS, DOOR HEADS, AND JOINTS OF DISSIMILAR MATERIALS.

7.06 CAULKING/ SEALANT- AS SELECTED BY BUILDER (PHENOSEAL OR SIMILAR).

7.07 GUTTERS AND LEADERS - .032" REFINISHED ALUMINUM GUTTERS. .024" PRE FINISHED ALUMINUM LEADERS. COLOR = WHITE. NOTE, SEE PLANS FOR LOCATIONS.

8.00 DOORS AND WINDOWS

8.01 OPENINGS FOR EMERGENCY SHALL INCLUDE DOORS OR OPERABLE PARTS OF WINDOWS LOCATED AS TO PROVIDE UNOBSTRUCTED EGRESS TO LEGAL OPEN SPACES. SUCH OPENINGS SHALL NOT IMPEDE EGRESS IN AN EMERGENCY, SHALL HAVE A MINIMUM AREA OF 5.7 SQ. FT. WITH A MIN. HEIGHT OF 24" AND A MIN. WIDTH OF 18" WITH BOTTOM OF OPENINGS NO HIGHER THAN 44" ABOVE FINISHED FLOOR IN ALL ABOVE GRADE STORIES. ALL GLASS WITHIN 18" OF FLOOR TO BE SAFETY GLASS. GRADE FLOOR OPENINGS SHOULD HAVE A MIN. NET CLEAR OPENING OF 5 SQ. FT.

8.02 MINIMUM WINDOW REQUIREMENTS PER ROOM IS 8 % OF FLOOR AREA FOR LIGHT AND 4 % FOR VENTILATION.

8.03 DOORS AND WINDOWS TO BE INSULATED GLASS. HURRICANE GLASS TO BE PROVIDED WHERE NO HURRICANE SHUTTERS ARE PROVIDED - SEE WINDOW SCHEDULE.

8.04 ENTRANCE DOORS TO CONFORM TO NYS ENERGY CODE.

9.01 DRYWALL -1/2" TAPERED EDGE GYPSUM BOARD, APPLIED TAPED AND FINISHED AS PER US GYPSUM COMPANY RECOMMENDATIONS. USE WATER RESISTANT TYPE AS SUBSTRATE FOR CEILING AS PER NYS BUILDING CODE.

10.00 CAST -IN- PLACE CONCRETE 10.01 ALL REINFORCED CONCRETE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE CURRENT ACI-318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE." AND SHALL HAVE A MIN. OF 4000 PSI AFTER 28 DAYS.

11.00 ELECTRICAL

11.01 SHALL CONFORM TO THE LATEST REVISION OF THE NATIONAL ELECTRIC CODE, THE LOCAL POWER COMPANY AND ALL

11.02 PROVIDE DIGITAL TYPE DAY/NIGHT THERMOSTATS.

11.03 PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS AS PER NYS BUILDING CODE.

11.04 BATH TO HAVE EXHAUST FAN AS PER NYS BUILDING CODE.

12.00 WATER AND SANITARY SYSTEM

APPLICABLE LOCAL REGULATIONS.

12.01 SEWAGE AND DISPOSAL SYSTEM AND FRESH WATER SUPPLY SHALL BE DESIGNED AND BUILT IN ACCORDANCE WITH THE NASSAU COUNTY DEPARTMENT OF HEALTH.

13.00 MISCELLANEOUS

13.01 EXTREME CARE AND PROPER MEASURES SHALL BE USED AS SO NOT TO DAMAGE, BULGE OR TIP WALLS DUE TO ANY SUPERIMPOSED PRESSURE, SHORING, BRACING, ETC., SHALL BE EMPLOYED UNTIL THE FULL DEAD LOAD OF THE BUILDING IS ON THE WALL. DO NOT BACKFILL AGAINST FOUNDATION WALLS UNTIL FLOOR SYSTEM INSTALLATION IS COMPLETE.

14.00 MISC NOTES

14.01 ALL ENVELOPE SYSTEMS SHALL BE IN ACCORDANCE WITH THE CURRENT NYS ENERGY CONSERVATION CODE.

14.02 FIREPLACE CONSTRUCTION SHALL BE IN CONFORMANCE WITH SEC. R1001. AIR LEAKAGE WITH GLASS ENCLOSURE AND DOORS. OUTSIDE AIR SUPPLY SHALL BE PROVIDED AS PER N1101.3.3.

14.03 GUARD RAILS ARE ONLY REQUIRED WHERE THE DIFFERENCE IN GRADE IS MORE THAN 30". (R313.1) OPENING IN GUARD RAILS TO BE 4" MAX. (313.2). HANDRAILS ARE REQUIRED ON STAIRS WITH 2 OR MORE RISERS (R312.1).

14.05 ATTIC ACCESS OPENINGS MUST BE A MINIMUM OF 22" X 30" WITH A MIN. OF 30" UNOBSTRUCTED HEADROOM ABOVE

14.06 STAIRWAY ILLUMINATION (R303.4). ALL INTERIOR AND EXTERIOR STAIRS TO BE PROVIDED WITH ILLUMINATION, INCLUDING LANDINGS AND TREADS. INTERIOR STAIRS - LIGHT SOURCE TO BE IMMEDIATE VICINITY OF EACH STAIRWAY LANDING OR DIRECTLY OVER EACH STAIRWAY SECTION (MINIMUM 10 FOOT CANDLES). EXTERIOR STAIRS - LIGHT SOURCE TO BE IN IMMEDIATE VICINITY OF TOP LANDING OF STAIRWAY (BOTTOM LANDING FOR BASEMENT STAIRWAYS). LIGHT ACTIVATION DEVICES TO BE LOCATED AT BOTH TOP AND BOTTOM OF INTERIOR STAIRS; LOCATED WITHIN THE DWELLING UNIT FOR EXTERIOR STAIRS (CONTINUOUSLY ILLUMINATED OR AUTOMATICALLY CONTROLLED ALSO PERMITTED). EXTERIOR DECKS WITH STAIRCASES LIGHT SWITCH AT TOP AND BOTTOM OF STAIRS.

14.07 WHENEVER AN ALTERATION IS MADE TO A RESIDENCE. THE ENTIRE RESIDENCE HAS TO HAVE HARD WIRED SMOKE DETECTORS INSTALLED (R3314.1.1).

14.08 EXTERIOR FRAME WALLS REQUIRE A RATING OF 1 HOUR FOR FIRE SEPARATION DISTANCE OF LESS THAN 3FT. (R302.1).

14.09 LANDINGS ARE REQUIRED AT EXIT DOORS OTHER THAN THE REQUIRED EXIT DOOR IF THERE ARE MORE THAN 2 RISERS (R312.1.2); LANDINGS CAN NOT BE MORE THAN $1 \frac{1}{2}$ BELOW DOOR THRESHOLD FOR EXIT DOORS.

14.10 LIGHT, VENTULATION, AND HEATING (R303.1) HABITABLE ROOM TO BE PROVIDED WITH AGGREGATE GLAZING AREA OF AT LEAST 8% OF THE FLOOR AREA OF THE ROOMS. EXTERIOR GLAZING NOT REQUIRED IN ROOMS WITH ARTIFICIAL LIGHT CAPABLE OF AVG. ILLUMINATION OF 6 FT. CANDLES AT 30" ABOVE THE FLOOR. OUTDOOR OPENINGS FOR VENTILATION IN HABITABLE ROOMS TO BE AT LEAST 4% OF ROOM AREA.

14.11 CEILING HEIGHTS (R305.1) MINIMUM CEILING HEIGHT OF 7'-6" TO THE LOWEST PROJECTION REQUIRED FOR HABITABLE ROOMS. MINIMUM CEILING HEIGHT OF 7 FT. PERMITTED FOR: HALLWAYS, BATHROOMS, LAUNDRY ROOMS, ETC. HABITABLE BASEMENTS AREAS, WITH REDUCTION TO 6'-8" AT BEAMS, DUCTS AND OTHER OBSTRUCTIONS. MINIMUM HEIGHT OF 6'-8" PERMITTED IN NON HABITABLE AREAS OF BASEMENTS, WITH REDUCTION TO 6'-4" AT BEAMS, DUCTS, ETC.

14.12 SANITATION (R306 AND R307). TOILET, BATH AND SHOWER SPACES TO BE PROVIDED WITH FIXTURE CLEARANCES AND CLEAR FLOOR SPACE AS SHOWN IN FIG. R307.2 (SEE SHEET GN3). SHOWER COMPARTMENTS TO HAVE NONABSORBENT SURFACES TO A MINIMUM HEIGHT OF 6 FT. ABOVE THE FLOOR.

14.13 HAZARDOUS LOCATIONS (SECTION R308.4 #1-#5) SPECIFIC HAZARDOUS LOCATIONS SET FORTH IN IRC WHERE GLAZING TO COMPLY WITH PROVISIONS FOR HUMAN IMPACT LOADS: GLAZING IN SIDE-HINGED SWINGING DOORS (OTHER THAN JALOUSIES) GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES. GLAZED PANELS IN SLIDING AND BIFOLD CLOSET DOOR ASSEMBLIES. GLAZING IN STORM DOORS. GLAZING IN UNFRAMED SWINGING DOORS. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, STEAM ROOMS, SAUNAS, WHIRLPOOLS, BATHTUBS AND SHOWERS. WHERE ANY PART OF BUILDING WALL ENCLOSES SUCH COMPARTMENTS, GLAZING WITHIN 60" VERTICALLY ABOVE STANDING OR WALKING SURFACE TO BE REGULATED. (5FT. RULE - 5FT. ABOVE WALKING SURFACE, 5 FT. HORIZONTALLY OUT.)

14.14 DRAFT STOPPING AND FIRE BLOCKING - WHERE A FLOOR MEMBRANE ABOVE AND CEILING MEMBRANE BELOW CREATE THE CONCEALED SPACE IN A FLOOR/CEILING ASSEMBLY, DRAFT STOPPING TO BE PROVIDED UNDER THE FOLLOWING CIRCUMSTANCES: CEILING SUSPENDED UNDER FLOOR FRAMING, FLOOR FRAMING CONSTRUCTED OF TRUSS - TYPE OPEN- WEB OR PERFORATED MEMBERS. MATERIALS FOR DRAFT STOPPING TO BE ADEQUATELY SUPPORTED AND INSTALLED PARALLEL TO FLOOR FRAMING MEMBERS UNLESS OTHERWISE APPROVED. 1/2" GYPSUM BOARD, 3/8" TYPE-2-M-W PARTICLE BOARD OTHER APPROVED MATERIALS.

14.15 HANDRAILS SIZE - TWO METHODS PRESCRIBED WITH OPTION OF ACCEPTING HANDRAIL WITH EQUIVALENT GRASPABILITY. TYPE 1 RAILS - IF CIRCULAR CROSS SECTION, DIAMETER OF 1 1/4" TO 2"; IF NON-CIRCULAR RAIL, CROSS SECTION OF 2 1/4" MAXIMUM WITH PERIMETER OF 4" TO 6 1/4". TYPE II RAILS - PERIMETER DIMENSION EXCEEDING 6 1/4", GRASP ABLE FINGER RECESS TO BE PROVIDED ON BOTH SIDES OF RAIL, WITH SPECIFIC DIMENSIONAL CRITERIA SET FORTH IN CODE.

14.16 SECTION R312 GUARDS

EXCEPTIONS:

R312.1 GUARDS, PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES (914 MM) IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES (864 MM) IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.

PORCHES AND DECKS WHICH ARE ENCLOSED WITH INSECT SCREENING SHALL BE EQUIPPED WITH GUARDS WHERE THE WALKING SURFACE IS LOCATED MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR OR GRADE BELOW.

R312.2 GUARD OPENING LIMITATIONS, REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102MM) OR MORE IN DIAMETER.

1. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES (152 MM) CANNOT PASS THROUGH. 2. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 43/8 INCHES (107 MM) TO PASS THROUGH.

14.16 LANDINGS (R312) STAIRWAYS — A FLOOR OR LANDING TO BE PROVIDED AT TOP AND BOTTOM —NO LANDING REQUIRED AT TOP OF AN INTERIOR STAIRWAY PROVIDED DOOR DOES NOT SWING OVER STAIRS. EXTERIOR DOORS -A FLOOR OR LANDING IS REQUIRED ON EACH SIDE OF AN EXTERIOR DOOR- AT OTHER THAN THE REQUIRED EXIT DOOR, A LANDING IS NOT REQUIRED ON THE EXTERIOR SIDE OF A DOOR HAVING TWO OR FEWER RISERS. ALL DOORS - A FLOOR OR LANDING SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD - AT OTHER THAN THE REQUIRED EXIT DOOR, THE ELEVATION DIFFERENCE BELOW THE THRESHOLD OF AN EXTERIOR DOOR IS LIMITED TO 8 1/4", PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING (NOT APPLICABLE TO

14.17 STAIRWAY TREADS AND RISERS (R314.2) MAXIMUM RISER HEIGHT TO BE 8 1/4". MINIMUM TREAD DEPTH TO BE 9". (R314.1) STAIRWAY WIDTH - STAIRWAYS TO BE A MINIMUM OF 36" IN WIDTH AT POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS MAY PROJECT A MAXIMUM OF 4 1/2" ON ONE OR BOTH SIDES OF STAIRWAYS. MINIMUM CLEAR STAIRWAY WIDTH AT AND BELOW THE HANDRAIL HEIGHT INCLUDING TREADS AND LANDINGS, TO BE: 31 1/2" WITH HANDRAIL ON ONE SIDE ONLY, 27" WITH HANDRAILS ON BOTH SIDES. WITHIN EACH FLIGHT, MAXIMUM VARIATION OF 3/8" BETWEEN GREATEST AND SMALLEST RISER HEIGHTS. WITHIN EACH FLIGHT, MAXIMUM VARIANCE BETWEEN GREATEST AND SMALLEST TREAD DEPTHS. STAIRWAYS WITH SOLID RISERS TO HAVE NOSING OF A MINIMUM OF 3/4" AND A MAXIMUM OF 1 1/4". NOSING NOT REQUIRED FOR TREADS AT LEAST 11" IN DEPTH. (OPEN RISERS CAN NOT PERMIT THE THRU PASSAGE OF A 4" SPHERE.)

14.18 STAIRWAY HEIGHT (R314.3) MIN. HEADROOM OF 6'-8" FOR STAIRWAYS AND LANDINGS - HEADROOM HEIGHT MEASURED VERTICALLY FROM SLOPED PLANE ADJOINING TREAD NOSING OR FROM FLOOR SURFACE OF LANDING TO ANY OBSTRUCTION ABOVE, ACCESSIBLE SPACE UNDER STAIRS TO RECEIVE 1/2" GWB.

14.19 - SECTION R313 SMOKE ALARMS, CARBON MONOXIDE ALARMS AND AUTOMATIC SPRINKLER SYSTEMS

R313.1 SMOKE DETECTION AND NOTIFICATION, ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.

HOUSEHOLD FIRE ALARM SYSTEMS INSTALLED IN ACCORDANCE WITH NFPA 72 THAT INCLUDE SMOKE ALARMS, OR A COMBINATION OF SMOKE DETECTOR AND AUDIBLE NOTIFICATION DEVICE INSTALLED AS REQUIRED BY THIS SECTION FOR SMOKE ALARMS, SHALL BE PERMITTED. THE HOUSEHOLD FIRE ALARM SYSTEM SHALL PROVIDE THE SAME LEVEL OF SMOKE DETECTION AND ALARM AS REQUIRED BY THIS SECTION FOR SMOKE ALARMS IN THE EVENT THE FIRE ALARM PANEL IS REMOVED OR THE SYSTEM IS NOT CONNECTED TO A CENTRAL STATION.

R313.1.1 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

1. IN EACH SLEEPING ROOM.

2. DUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R313.2 SMOKE ALARMS AND CARBON MONOXIDE ALARMS IN EXISTING DWELLINGS, EXISTING DWELLINGS UNDERGOING REPAIR, ALTERATION, CHANGE OF OCCUPANCY, ADDITION OR RELOCATION SHALL BE PROVIDED WITH SMOKE ALARMS AND CARBON MONOXIDE ALARMS AS REQUIRED BY APPENDIX J.

R313.3 COMBINATION SMOKE AND CARBON MONOXIDE ALARMS, COMBINATION SMOKE AND CARBON MONOXIDE ALARMS ARE PERMITTED, PROVIDED THE ALARM IS LISTED FOR SUCH USE. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL HAVE DISTINCTLY DIFFERENT ALARM SIGNALS FOR SMOKE OR CARBON MONOXIDE ALARM ACTIVATION

R313.4 CARBON MONOXIDE ALARMS. THIS SECTION COVERS THE APPLICATION, INSTALLATION AND PERFORMANCE OF CARBON MONOXIDE ALARMS AND CARBON MONOXIDE DETECTORS, AND THEIR COMPONENTS, IN ONE- AND TWO-FAMILY DWELLINGS AND MULTIPLE SINGLE-FAMILY DWELLINGS (TOWNHOUSES).

R313.4.1 GENERAL, CARBON MONOXIDE ALARMS (OR, WHERE PERMITTED, CARBON MONOXIDE DETECTORS) SHALL BE

INSTALLED, OPERATED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THIS SECTION, OR IN

EXCEPTION: CARBON MONOXIDE ALARMS AND/OR CARBON MONOXIDE DETECTORS SHALL NOT BE REQUIRED IN A

BUILDING OR STRUCTURE THAT CONTAINS NO CARBON MONOXIDE SOURCE. R313.4.2 REQUIRED LOCATIONS, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: . WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 15 FEET OF THE

SLEEPING AREA, MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE

2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

ACCORDANCE WITH THE PROVISIONS OF NFPA 720.

1. WHERE COVERAGE AT A LOCATION IS REQUIRED BY MORE THAN ONE PROVISION OF THIS SECTION, PROVIDING ONE CARBON MONOXIDE ALARM AT SUCH LOCATION SHALL BE DEEMED TO SATISFY ALL SUCH

2. IN LIEU OF A CARBON MONOXIDE ALARM, A CARBON MONOXIDE DETECTOR MAY BE PROVIDED AT ANY LOCATION WHERE COVERAGE IS REQUIRED, PROVIDED THAT SUCH CARBON MONOXIDE DETECTOR IS PART OF A SYSTEM THAT CAUSES AN ALARM TO SOUND AT SUCH LOCATION WHEN CARBON MONOXIDE IS DETECTED AT SUCH LOCATION.

R313.4.3 POWER SOURCE. CARBON MONOXIDE ALARMS, CARBON MONOXIDE DETECTORS, AND THE ALARM CONTROL UNITS TO WHICH CARBON MONOXIDE DETECTORS ARE CONNECTED SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, AND SHALL BE EQUIPPED WITH A BATTERY BACKUP SYSTEM THAT AUTOMATICALLY PROVIDES POWER FROM ONE OR MORE BATTERIES WHEN PRIMARY POWER IS INTERRUPTED, WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. R313.4.4 EQUIPMENT. CARBON MONOXIDE ALARMS SHALL BE LISTED AND LABELED AS COMPLYING WITH UL 2034 OR CSA 6.19, CARBON MONOXIDE DETECTORS SHALL BE LISTED AND LABELED AS COMPLYING WITH UL 2075 AND SHALL MEET THE SENSITIVITY TESTING AND ALARM THRESHOLDS OF UL 2034 OR CSA 6.19. CARBON MONOXIDE ALARMS, CARBON MONOXIDE DETECTORS AND ALARM CONTROL UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THIS SECTION AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

R313.4.4.1 MAINTENANCE AND TESTING. CARBON MONOXIDE ALARMS, CARBON MONOXIDE DETECTORS, AND ALARM CONTROL UNITS SHALL BE MAINTAINED IN AN OPERATIVE CONDITION AT ALL TIMES. CARBON MONOXIDE ALARMS, CARBON MONOXIDE DETECTORS, AND ALARM CONTROL UNITS SHALL BE PERIODICALLY TESTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE BATTERY OR BATTERIES USED AS THE PRIMARY OR BACKUP POWER SOURCE SHALL BE REPLACED WHEN LOW OR WHEN OTHERWISE REQUIRED BY THE MANUFACTURER'S INSTRUCTIONS. CARBON MONOXIDE ALARMS, CARBON MONOXIDE DETECTORS, AND ALARM CONTROL UNITS SHALL BE REPLACED OR REPAIRED WHERE DEFECTIVE, AND SHALL BE REPLACED WHEN THEY CEASE TO OPERATE AS INTENDED. R313.4.4.2 DISABLING OF ALARMS, NO CARBON MONOXIDE ALARM, CARBON MONOXIDE DETECTOR, OR ALARM CONTROL

UNIT SHALL BE REMOVED OR DISABLED, EXCEPT FOR SERVICE, REPAIR OR REPLACEMENT PURPOSES. R313.4.5 INTERCONNECTION OF CARBON MONOXIDE ALARMS AND DETECTORS. WHEN MORE THAN ONE CARBON MONOXIDE ALARM OR CARBON MONOXIDE DETECTOR IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING AREA, ALL CARBON MONOXIDE ALARMS AND ALL CARBON MONOXIDE DETECTORS IN SUCH DWELLING UNIT, SLEEPING UNIT OR SLEEPING AREA SHALL BE INTERCONNECTED.

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CONSULTANTS:

PROJECT NAME: KALBO RESIDENCE 100 WOODMERE BLVD SOUTH

WOODSBURG, NY 11598

R.JUDGE 2022

3 13 AUG 23 REDUCED SCOPE

<u>1</u> 25 JAN 23 DOB REVIEW DATE REVISIONS

2\ 3 MAR 23 DOB REVIEW

PAGE 3 OF 18 19 JULY 2022 PROJECT No: 2022-1 DRAWING BY

GENERAL NOTES

DWG No:

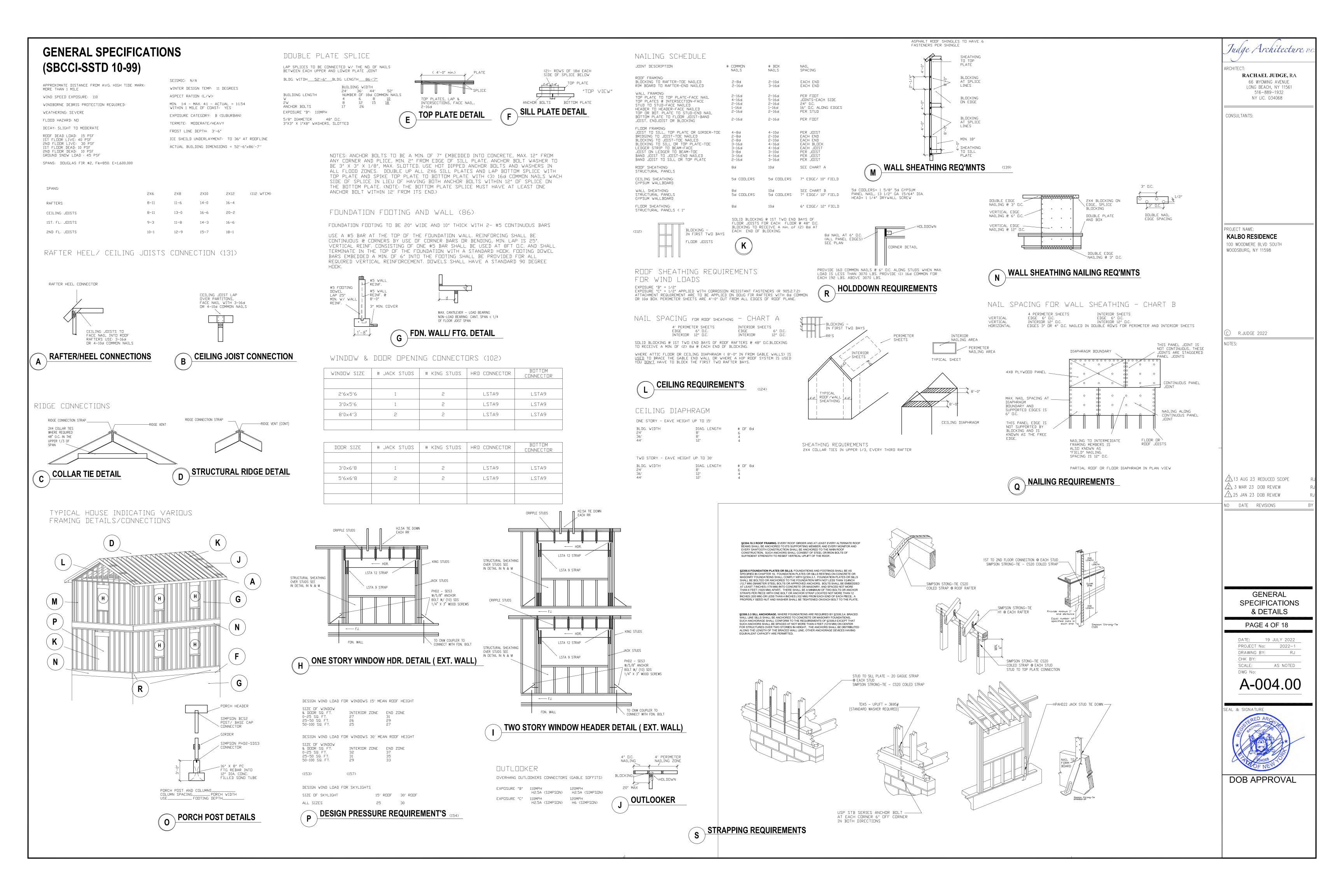
AS NOTED

AL & SIGNATURE

SCALE:



DOB APPROVAL



2020 RESIDENTIAL CODE OF NYS - 2020 ECC OF NYS

INSULATION & FENESTRATION REQUIREMENTS - AS PER TABLE R402.1.2

CLIMATE ZONE	FENESTRATION U-FACTOR	GLAZED FENESTRATION	CEILING R-VALUE	WOOD WALL R-VALUE	FLOOR R-VALUE	BASEMENT R-VALUE
4	0.32	0.40	49	20 OR 13+5	19	10 / 13

PROPOSED:

CLIMA	TE FENESTRA	TION GLAZED	CEILING	WOOD WALL	FLOOR	BASEMENT
ZONE	U-FACTOR	FENESTRATION	R-VALUE	R-VALUE	R-VALUE	R-VALUE
4	0.32 OR BETTER	0.40 DR BETTER	49 MIN (CLOSED CELL SPRAY FOAM)	R-13 CAVITY + ZIP WALL R-6 CONTINUOUS	R-19	N/A

LIGHTING - R404.1

MIN 90% OF NEW FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS PROPOSED MIN 90% OF NEW FIXTURES - SEE LIGHTING SCHEDULE SHEET A104 & A105

ALL NEW SPLIT SYSTEM UNITS TO HAVE PROGRAMMABLE CONTROLS AS PER R403.1.1

NEW MINI SPLIT SYSTEM PROPOSED - DUCTLESS TYPE UNITS

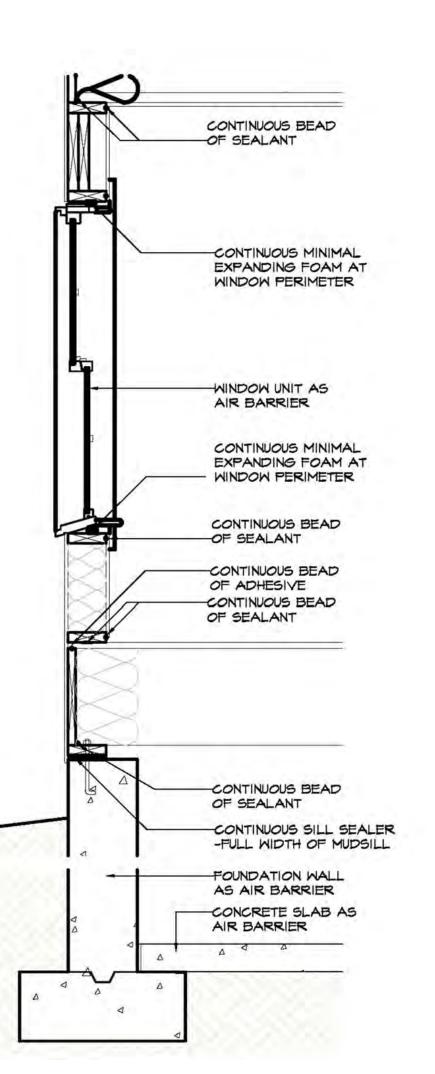
NEW UNITS DESIGNED IN ACCORDANCE WITH ACCA MANUAL S & IN ACCORDANCE WITH ACCA MANUAL J

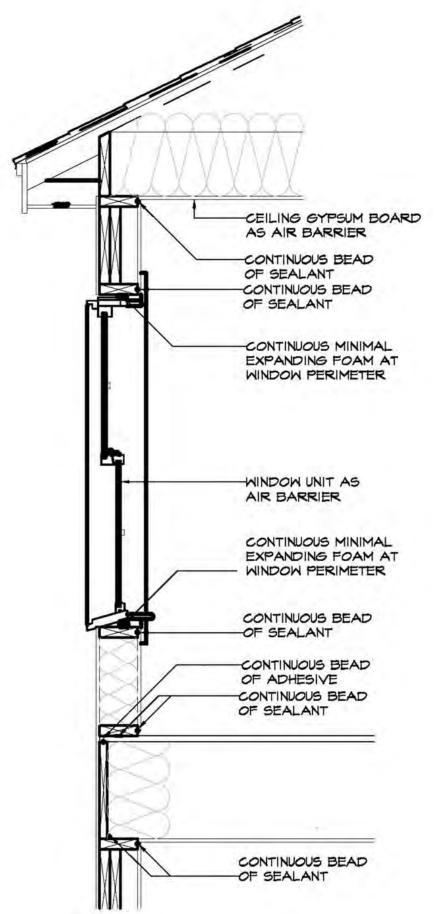
PROPOSED UNITS:

NOT TO SCALE

ACCU-1, 2 3 & 4 - DAIKIN - OUTDOOR HEAT PUMP - 36,000 BTU HEATING & COOLING CAPACITY-14 SEER DUCTED / 17.7 SEER NON-DUCTED / 15.85 SEER MIXED - MODEL #4MXS36RMVJUA

ACCU-5 & ACCU-6 -DAIKIN - OUTDOOR HEAT PUMP - 47,000 BTU COOLING & 48,500 BTU HEATING CAPACITY 15.3 SEER DUCTED / 20.2 SEER NON-DUCTED / 17.75 SEER MIXED - MODEL #5MXS48TVJU





AIR SEALING & UPPER WALL DETAIL

2020 ECC OF NEW YORK STATE (2018 IECC): R4013: PERMANENT CERTIFICATE - SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND POSTED IN THE UTILITY ROOM OR OTHER APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4: ATTIC OR CRAWL SPACE ACCESS - SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.

R402.4: AIR LEAKAGE - BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE TO < 3 AIR CHANGES PER HOUR.

R402.4.1.1: INSTALLATION - THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE SHALL BE INSTALLED IN ACCORDANCE WITH THE CRITERIA LISTED IN TABLE 402.4.1.1. WHERE REQUIRED BY CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE.

R402.4.1.2: TESTING - BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING (3 ACH50 IN CZ4A. 5. A6A. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY.

R402.4.4: COMBUSTION CLOSETS - ROOMS CONTAINING FUEL-BURNING APPLIANCES REQUIRE SPECIAL CARE. EXCEPTION: DIRECT VENT APPLIANCES WITH BOTH INTAKE EXHAUST PIPES INSTALLED CONTINUOUS TO THE

R403.3.2: DUCT SEALING - DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED.

R403.3.3: DUCT TESTING - DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE. EXCEPTION: DUCT LEAKAGE TEST IS NOT REQUIRED

WHERE THE DUCTS AND AIR HANDLERS ARE LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.

R403.3.5: BUILDING CAVITIES - SHALL NOT BE USED AS DUCTS OR PLENUMS

R403.4: MECHANICAL SYSTEM PIPING INSULATION - CARRYING FLUIDS >105°F OR <55°F, INSULATE TO R-3 MIN.

R403.6: MECHANICAL VENTILATION - THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF IRC/IMC.

THE MECHANICAL VENTILATION RATE SHALL BE NO GREATER THAN

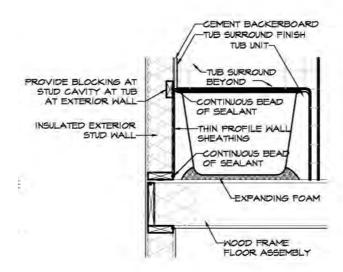
0.01 X CFA + 7.5 X (# OF BEDROOMS + 1) *CFA = CONDITIONED FLOOR AREA

R403.7: EQUIPMENT SIZING - PER ACCA MANUEL S, BASED ON LOADS CALCULATED PER ACCA MANUEL J.

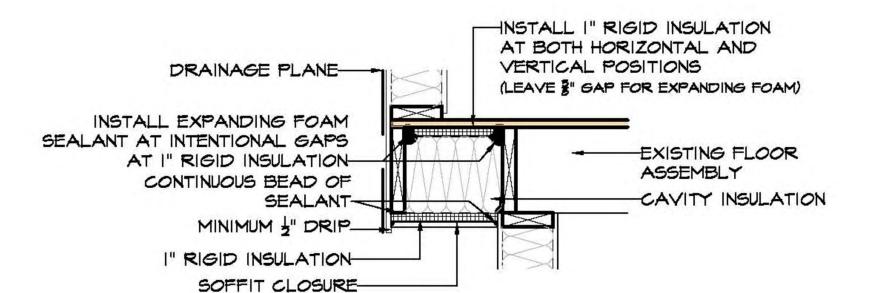
R404.1: LIGHTING - A MINIMUM OF 90% OF PERMANENTLY INSTALLED FIXTURES MUST HAVE HIGH-EFFICANCY LAMPS. LOW-VOLTAGE LIGHTING EXEMPT

2020 RESIDENTIAL CODE OF NYS- TABLE NIIO2.4.I.I (2020 ECC OF NYS - R402.4.I.I) - AIR BARRIER AND INSULATION INSTALLATION

2020 RESIDENTIAL CODE OF NIS- TAB	LE NIIO2.4.1.1 (2020 ECC OF N19 - R402.4.1.1) - AIR E	DARRILR AND INSULATION INSTALLATION
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED	AIR- PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTICS SPACES SHALL BE SEALED	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER
WALLS	THE JUNCTION OF FOUNDATION AND SILL PLATE TO BE SEALED. THE JUNCTION OF TOP PLATE AND THE TOP OF EXTERIOR WALLS TO BE SEALED KNEE WALLS SHALL BE SEALED	CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER
WINDOWS, SKYLIGHTS, AND DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED	
RIM JOIST	RIM JOIST SHALL INCLUDE THE AIR BARRIER	RIM JOIST SHALL BE INSULATED
FLOORS (INCLUDING ABOVE GARAGES & CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES TO BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWL SPACE WALLS
SHAFTS / PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE TO BE SEALED	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE
GARAGE SEPARATION	AIR SEAL BETWEEN GARAGE AND CONDITIONED SPACE	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED AIR TIGHT AND IC RATED
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING
SHOWER/TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED
ELECTRICAL/ PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEAL BOXES SHALL BE INSTALLED	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL	



AIR SEALING @ TUB



2020 ECC OF NEW YORK STATE (2018 IECC)

-AIR LEAKAGE: -JOINTS, PENETRATIONS, AND ALL OTHER SUCH OPENINGS IN THE BUILDINGS ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE SEALED.

-RECESSED LIGHTS MUST BE TYPE IC RATED AND INSTALLED WITH NO PENETRATIONS, OR TYPE IC OR NON-IC RATED INSTALLED INSIDE AN APPROPRIATE AIR-TIGHT ASSEMBLY WITH 0.5" CLEARANCE FROM COMBUSTIBLE MATERIALS AND 3" CLEARANCE FROM INSULATION

VAPOR RETARDER: -REQUIRED ON THE WARM-IN-WINTER SIDE OF ALL NON-VENTED FRAMED CEILINGS, WALLS, AND FLOORS.

MATERIALS IDENTIFICATION: -MATERIALS AND EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. -MATERIALS AND EQUIPMENT MUST IDENTIFIED SO THAT THE COMPLIANCE

CAN BE DETERMINED. -MANUFACTURER MANUALS FOR ALL INSTALLED HEATING AND COOLING EQUIPMENT AND SERVICE WATER HEATING EQUIPMENT MUST BE PROVIDED.

-INSULATION R-VALUES AND GLAZING U-FACTORS MUST BE CLEARLY MARKED ON THE BUILDING PLANS OR SPECIFICATIONS.

DUCT INSULATION: -SUPPLY DUCTS IN UNCONDITIONED

ATTICS OR OUTSIDE THE BUILDING MUST BE INSULATED TO R-8. -RETURN DUCTS IN UNCONDITIONED ATTICS OR OUTSIDE THE BUILDING MUST BE INSULATED TO R-4. -SUPPLY DUCTS IN UNCONDITIONED SPACES MUST BE INSULATED TO R-8.

-RETURN DUCTS IN UNCONDITIONED SPACES (EXCEPT BASEMENTS) MUST BE INSULATED TO R-2. -INSULATION IS NOT REQUIRED ON RETURN DUCTS IN BASEMENTS

DUCT CONSTRUCTION: -ALL JOINTS, SEAMS, AND CONNECTIONS MUST BE SECURELY FASTENED WITH WELDS, GASKETS, MASTICS (ADHESIVES), MASTIC-PLUS-EMBEDDED-FABRIC, OR TAPES. DUCT TAPE IS NOT

PERMITTED. EXCEPTION: CONTINUOUSLY WELDED AND LOCKING-TYPE LONGITUDINAL JOINTS AND SEAMS ON DUCTS OPERATING AT LESS THAN 2" W.g. (500 PA.)

-DUCTS SHALL BE SUPPORTED EVERY IO FEET OR IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. -COOLING DUCTS WITH EXTERIOR INSULATION MUST BE COVERED WITH A VAPOR RETARDER. -AIR FILTERS ARE REQUIRED IN THE

RETURN AIR SYSTEM. -THE HVAC SYSTEM MUST PROVIDE A MEANS FOR BALANCING AIR AND WATER SYSTEMS.

TEMPERATURE CONTROLS: -EACH DWELLING UNIT HAS AT LEAST ONE THERMOSTAT CAPABLE OF AUTOMATICALLY ADJUSTING THE SPACE TEMPERATURE SET POINT OF THE LARGEST ZONE.

ELECTRIC SYSTEMS: -SEPARATE ELECTRIC METERS ARE REQUIRED FOR EACH DWELLING UNIT.

FIREPLACES: -FIREPLACES MUST BE INSTALLED WITH TIGHT FITTING NON-COMBUSTABLE FIREPLACE DOORS -FIREPLACES MUST BE PROVIDED WITH A SOURCE OR COMBUSTION AIR, AS REQUIRED BY THE FIREPLACE

CONSTRUCTION PROVISIONS OF THE BUILDING CODE OF NEW YORK STATE, THE RESIDENTIAL CODE OF NEW YORK STATE OR THE NEW YORK CITY BUILDING CODE, AS APPLICABLE

SERVICE WATER HEATING: -WATER HEATERS WITH VERTICAL PIPE RISERS MUST HAVE A HEAT TRAP ON BOTH THE INLET AND THE OUTLET UNLESS THE WATER HEATER HAS AN INTEGRAL HEAT TRAP OR IS PART OF A CIRCULATING SYSTEM. -INSULATE CIRCULATING HOT WATER PIPES TO THE LEVELS ON TABLE I.

CIRCULATING HOT WATER SYSTEMS: -INSULATE CIRCULATING HOT WATER PIPES TO THE LEVELS ON TABLE I.

HEATING AND COOLING PIPING INSULATION: -HVAC PIPING CONVEYING FLUIDS ABOVE 105°F OR CHILLED FLUIDS BELOW 55°F MUST BE INSULATED TO THE LEVELS IN TABLE 2.

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(C) R.JUDGE 2022

NOTES:

3 13 AUG 23 REDUCED SCOPE 2 3 MAR 23 DOB REVIEW 1 25 JAN 23 DOB REVIEW

NO DATE REVISIONS

ENERGY CODE

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SCALE:

DWG No:

19 JULY 2022 2022-1 PROJECT No: DRAWING BY

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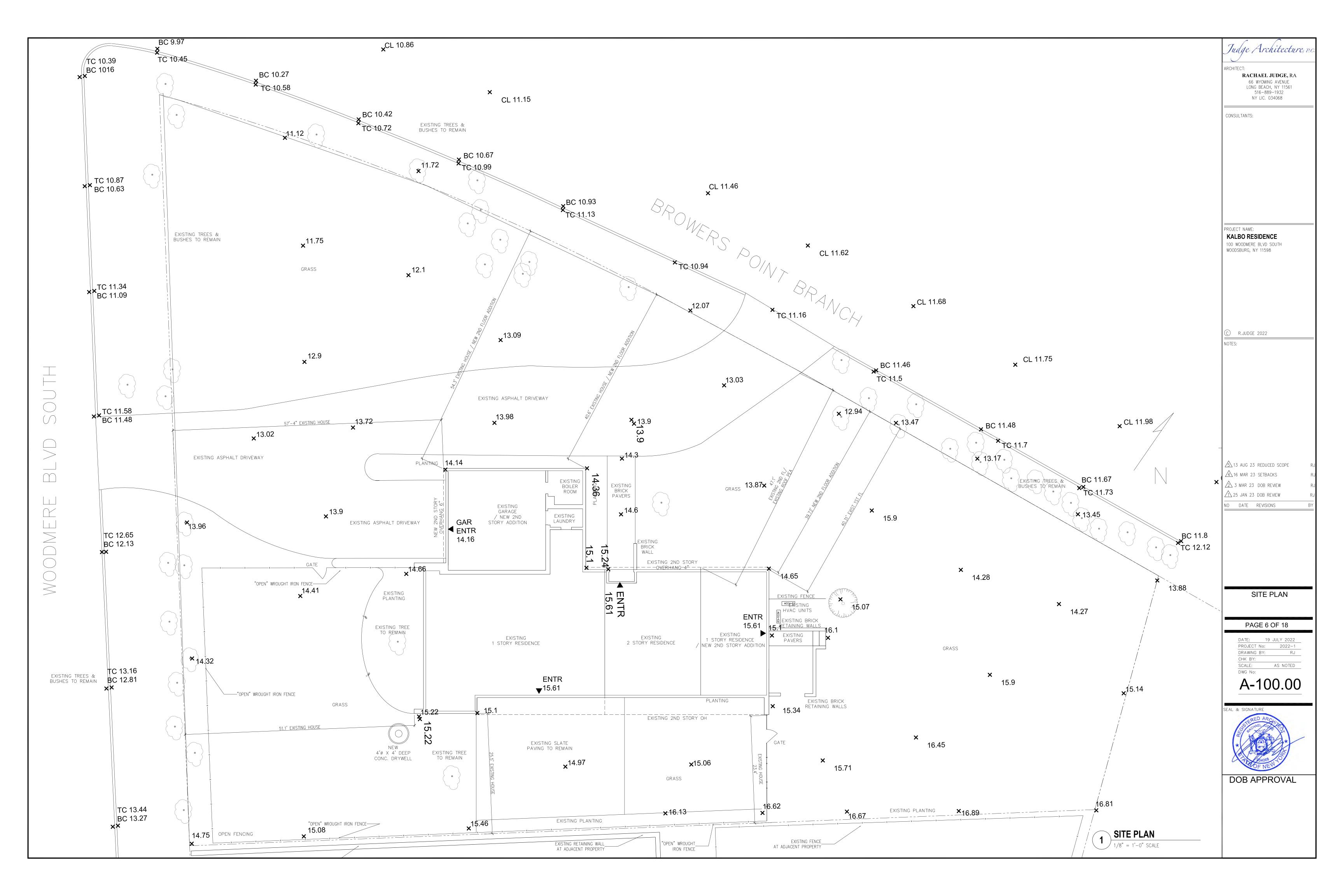
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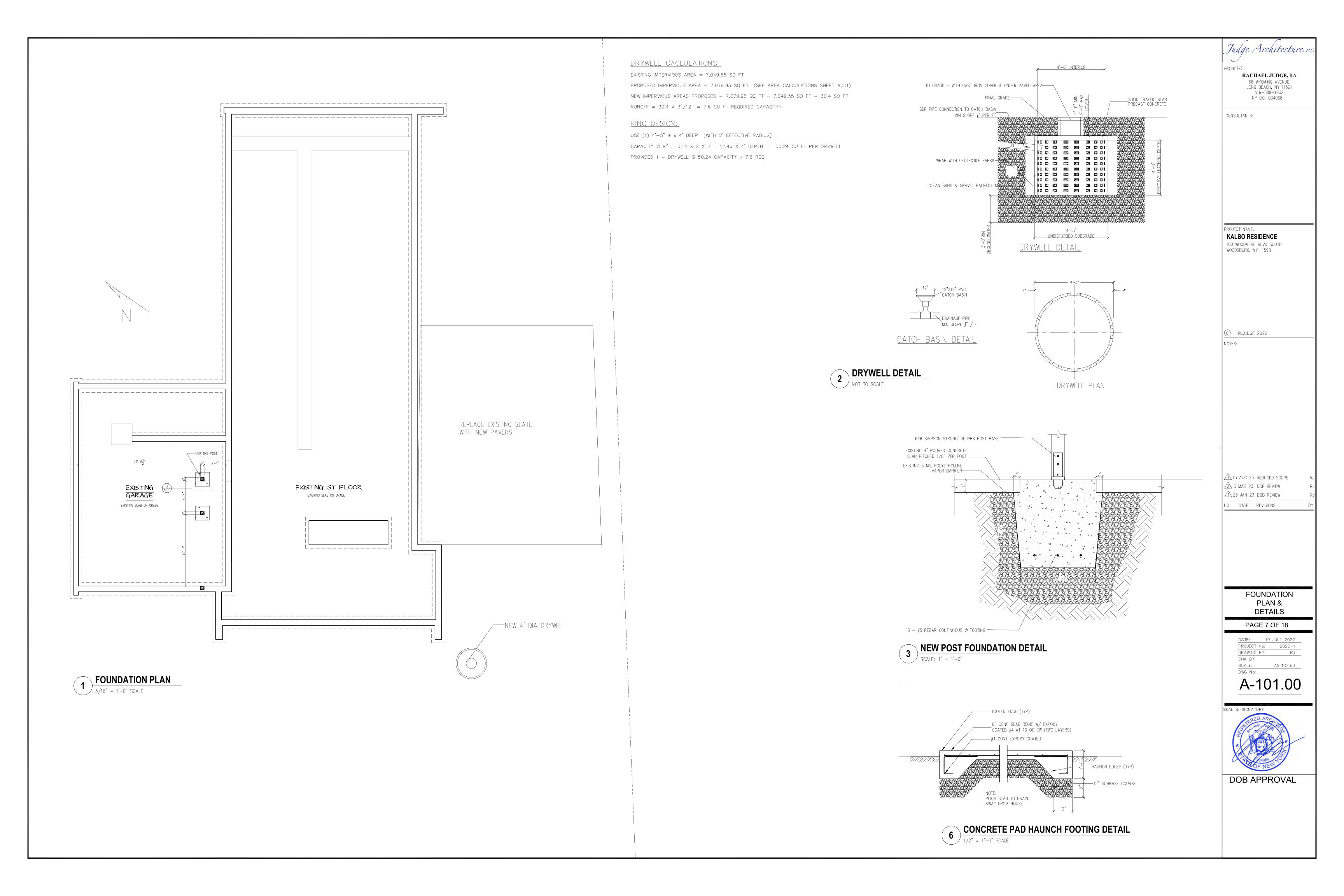


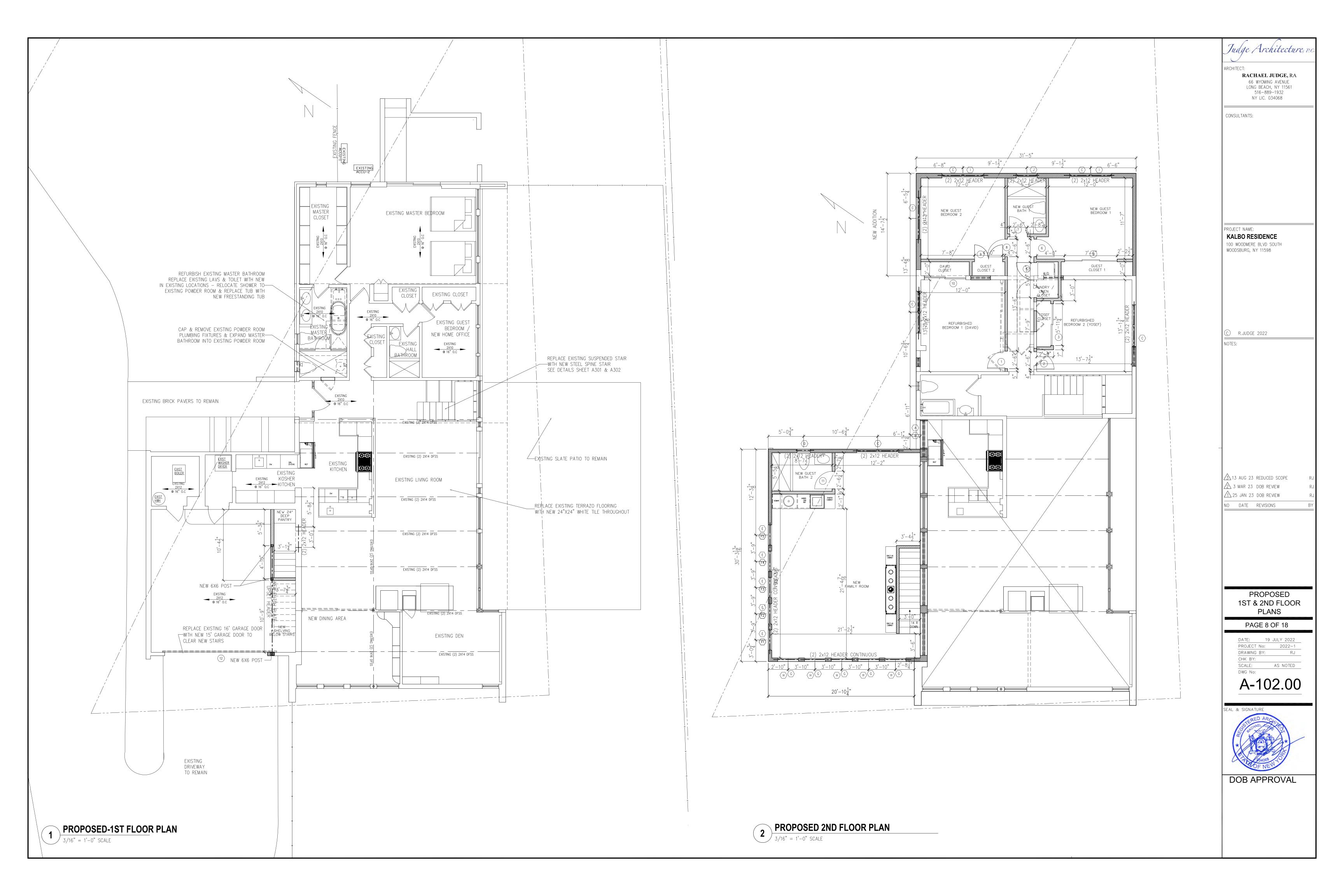
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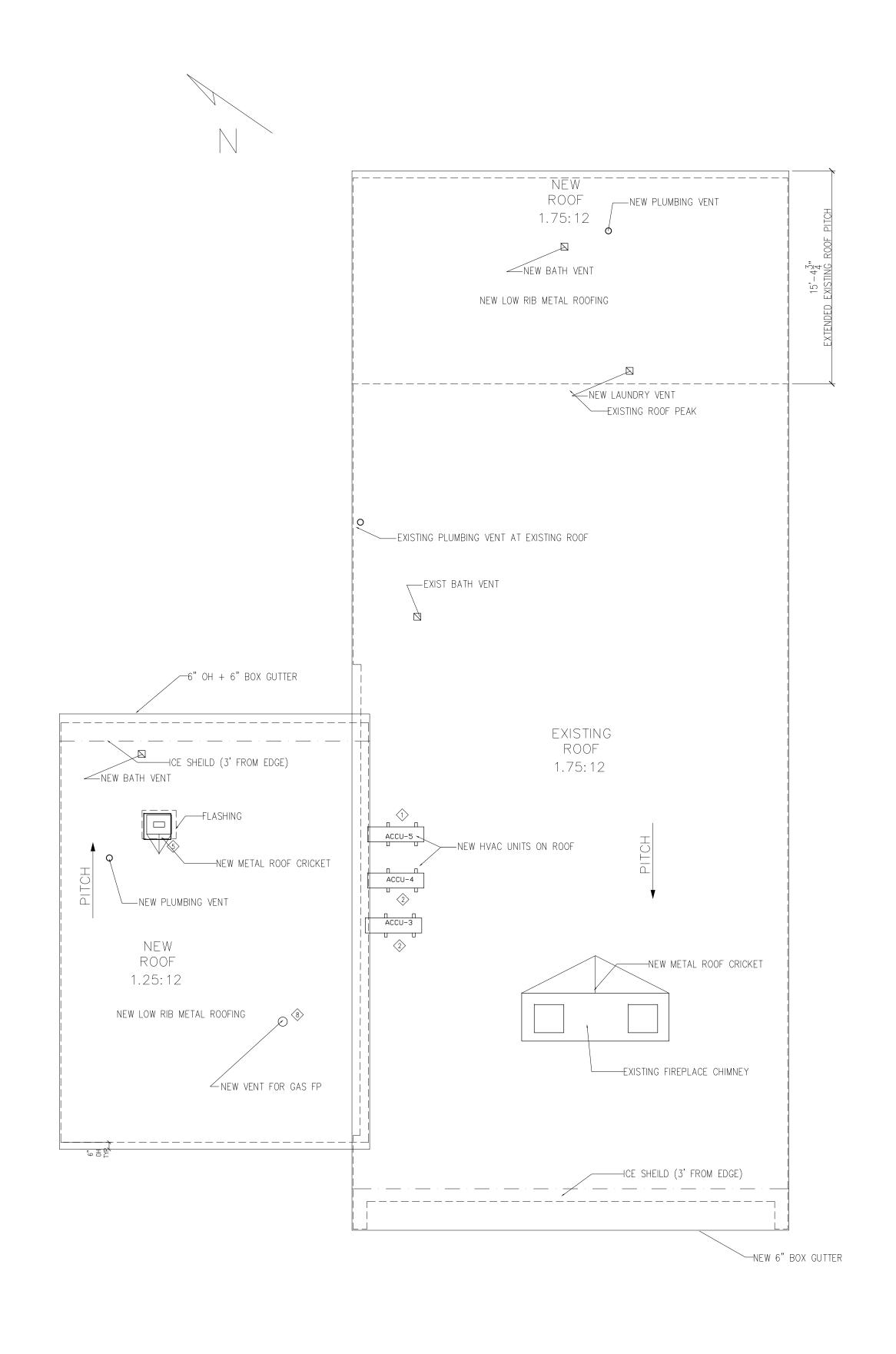
AIR SEALING & LOWER WALL DETAIL

AIR SEALING @ CANTILIVER





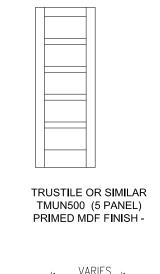


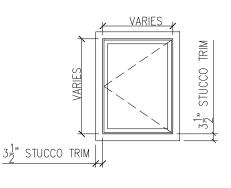


DOOR SCHEDULE

FL	#	WIDTH	HEIGHT	THICK	MAT.	JAMB	CASING	SWING	FINISH	HARD WARE	NOTE	LOCATION
	01)	2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	LH	PAINT	"A"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 $\frac{3}{4}$ " THICKNESS	DAVID BEDROOM
	02)	2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	RH	PAINT	"A"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 3" THICKNESS	YOSEF BEDROOM
	03)	(2) 3'-0"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	BYPASS SLIDING	PAINT	"D"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 3" THICKNESS	YOSEF CLOSET
OOR	04)	2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	RH	PAINT	"C"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 3_4 THICKNESS	LAUNDRY/ LINEN CLOSET
2ND FLOOR	05)	(3) 2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	BYPASS SLIDING	PAINT	"E"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 $\frac{3}{4}$ " THICKNESS	GUEST CLOSET 1
	06)	(2) 2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	RHR/LHR	PAINT	"C"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 $\frac{3}{4}$ " THICKNESS	GUEST BEDROOM 1
	07	2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	RH	PAINT	"A"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 $\frac{3}{4}$ " THICKNESS	GUEST BATHROOM 1
	08)	2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	LH	PAINT	"A"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 $\frac{3}{4}$ " THICKNESS	GUEST BEDROOM 2
	09	(2) 2'-0"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	LH	PAINT	"C"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 $\frac{3}{4}$ " THICKNESS	GUEST CLOSET 2
	10	(2) 3'-0"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	BYPASS SLIDING	PAINT	"D"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 $\frac{3}{4}$ " THICKNESS	DAVID CLOSET
	11)	2'-6"	6'-8"	1 3/4"	PRIMED MDF	WD	WD	LH	PAINT	"A"	TRUSTILE OR SIMILAR 5 PANEL TMUN5000 MDF INTERIOR DOOR SQUARE STICKING 1 $\frac{3}{4}$ " THICKNESS	GUEST BATHROOM 2
1ST FL	(12)	8'-0"	7'-0"	2 1/8"	ALUMINUM FRAME	N/A	N/A	OVERHEAD GARAGE	PRE- FINISHED	"F"	CLOPAY AVANTE COLLECTION CLEAR ANODIZED ALUMINUM FRAME INSULATED FROSTED GLASS	GARAGE

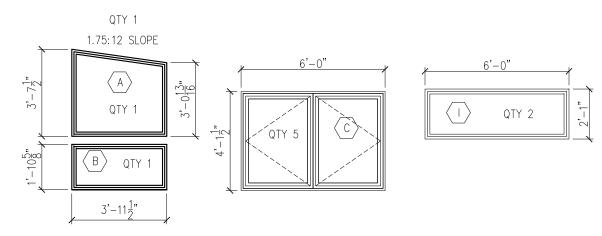
TYPE	QTY.	HARDWARE MG	odel #	FINISH	MANUF
HARDWARE SET: A PRIVACY	1 PER DOOR	EMTEK HERCULES PRIVACY LEVER M WITH SQUARE ROSETTE & CF MECHANISM (HIDDEN SCREWS)	IODEL #C5210HEUS15	SATIN NICKEL	EMETK
	2 PER DOOR	4" SQ CORNER HINGES - M	IODEL #91014US15	US15	
HARDWARE SET: A PASSAGE	1 PER DOOR	EMTEK HERCULES PASSAGE LEVER M WITH SQUARE ROSETTE & CF MECHANISM (HIDDEN SCREWS)	MODEL #C5110HEUS15	SATIN NICKEL	EMETK
	2 PER DOOR	4" SQ CORNER HINGES - M	MODEL #91014US15	US15	
HARDWARE SET: C DUMMY	1 PER DOOR	EMTEK HERCULES DUMMY LEVER WITH SQUARE ROSETTE DOUBLE NON-TURNING DUMMY	MODEL #C5110HEUS15	SATIN NICKEL	EMETK
	2 PER DOOR	4" SQ CORNER HINGES - M	10DEL #91014US15	US15	
	1 PER DOOR	MAGNETIC DOOR CATCH - M	10DEL # 8802US15		
HARDWARE SET: D 2 DOOR SLIDER	1 PER DOOR	JOHNSON HARDWARE SLIDING BYPASS SOFT-CLOSE/OPEN DOOR HARDWARE 72" TRACK	MODEL# 200722DS	ALUMINUM	JOHNSON
	1 PER DOOR	2 ½" SQUARE FLUSH PULL M	10DEL # 2213US15	SATIN NICKEL US15	EMETK
HARDWARE SET: E 3 DOOR SLIDER	1 PER DOOR	JOHNSON HARDWARE SLIDING BYPASS SOFT-CLOSE/OPEN DOOR HARDWARE 96" TRACK	MODEL# 200963DS	ALUMINUM	JOHNSON
	1 PER DOOR	2 ½" SQUARE FLUSH PULL M	10DEL # 2213US15	SATIN NICKEL US15	EMETK
HARDWARE SET: F GARAGE DOORS	1 SET PER GARAGE DOOR	HARDWARE TO BE PROVIDED WITH CLOP. SPADE STEP PLATE, SPADE LIFT I & SPADE STRAP HINGE GARAGE DOOR OPENER — REUSE	HANDLES	CLEAR ALUMINUM (ANODIZED)	CLOPAY GARAGE DOOR





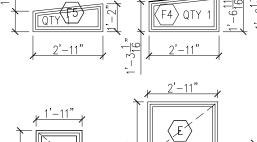
WINDOW TRIM @ STUCCO WALLS

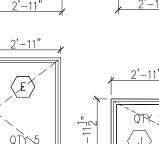
NOT TO SCALE

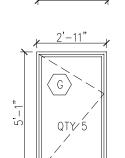


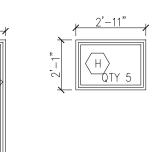


ALL NEW WINDOWS TO BE EITHER
ANDERSON WINDOWS - VINYL
DUAL PANE GLASS WITH LOW E INSULATED
ALL NEW WINDOWS TO MEET MINIMUM
ENERGY CODE REQUIREMENTS OF
0.32 U FACTOR & 0.40 SHGC
(PROPOSED 0.26-.3 U FACTOR)









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13 AUG 23 REDUCED SCOPE
2 3 MAR 23 DOB REVIEW
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ROOF PLAN, DOOR & WINDOW

SCHEDULES

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DATE: 19 JULY 2022
PROJECT No: 2022-1
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SCALE: AS NOTED
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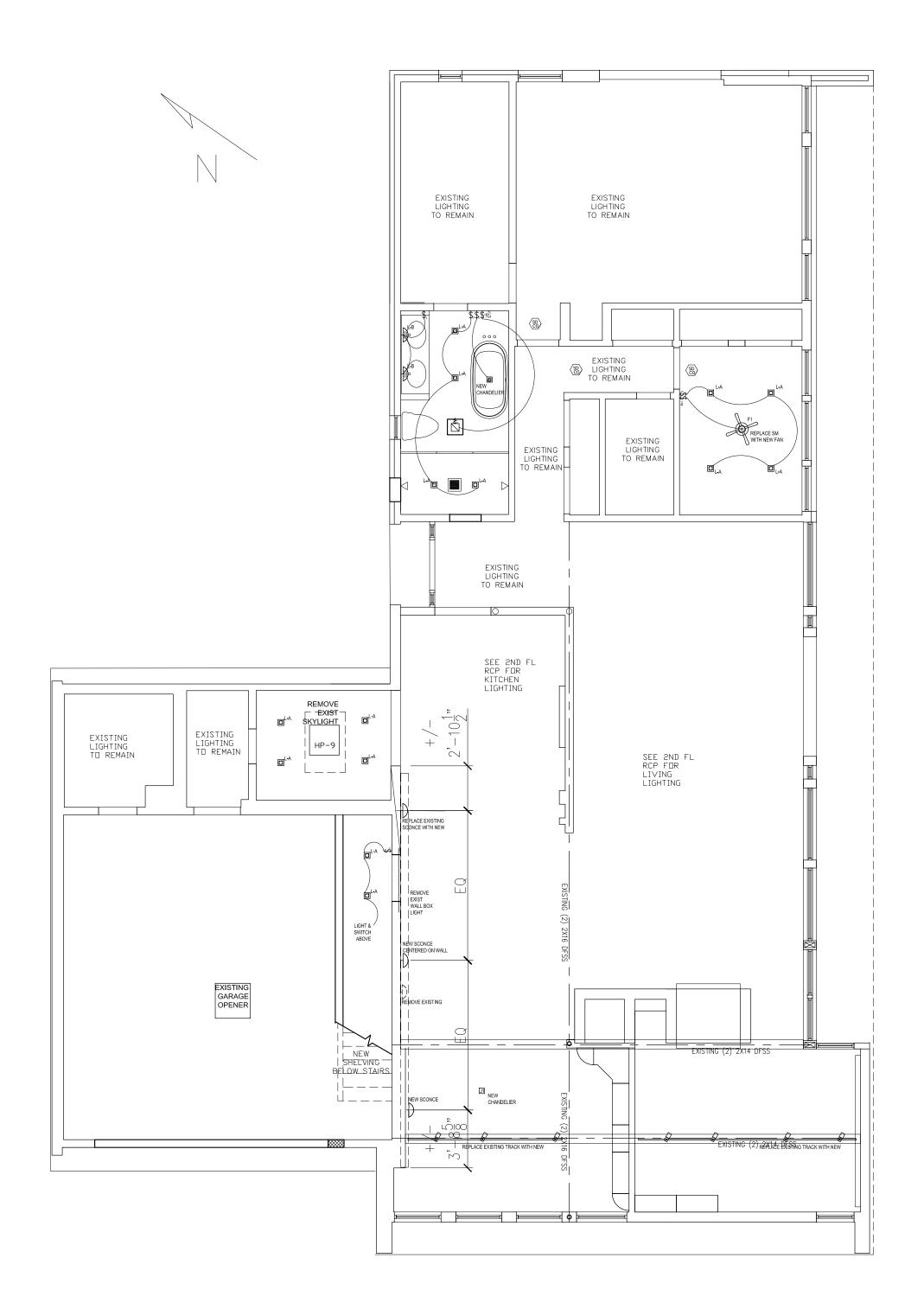
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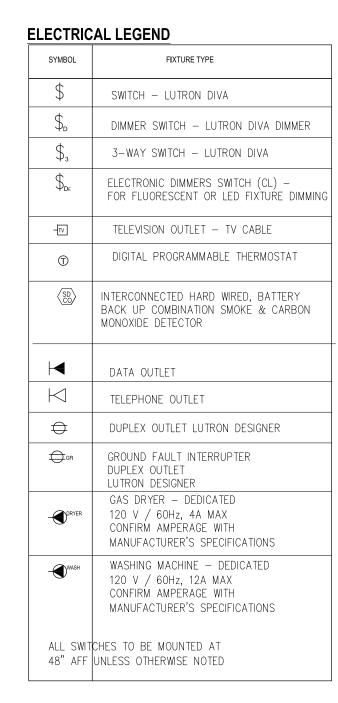


DOB APPROVAL

PROPOSED-ROOF PLAN

3/16" = 1'-0" SCALE





SYMBOL FIXTURE TYPE JUNCTION BOX FOR OWNER SUPPLIED FIXTURE WALL SCONCE (INSTALL OWNER SUPPLIED FIXTURE) L-A WAC LIGHTING SQUARE TRIM RECESSED LED FIXTURE L-B MINI RECESSED LED FIXTURE RECESSED LIGHT FIXTURE L-D RECESSED LIGHT FIXTURE - ANGLED CEILING MOUNT BATHROOM EXHAUST REPLACE EXISTING TRACK WITH NEW LED TRACK & FIX NOTE: MINIMUM 90% OF ALL NEW LIGHTS SHALL BE HIGH EFFICACY FIXTURES

SMOKE & CO DETECTOR NOTES -

 SINGLE AND MULTIPLE STATION SMOKE ALARMS. LISTED SINGLE- AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA72

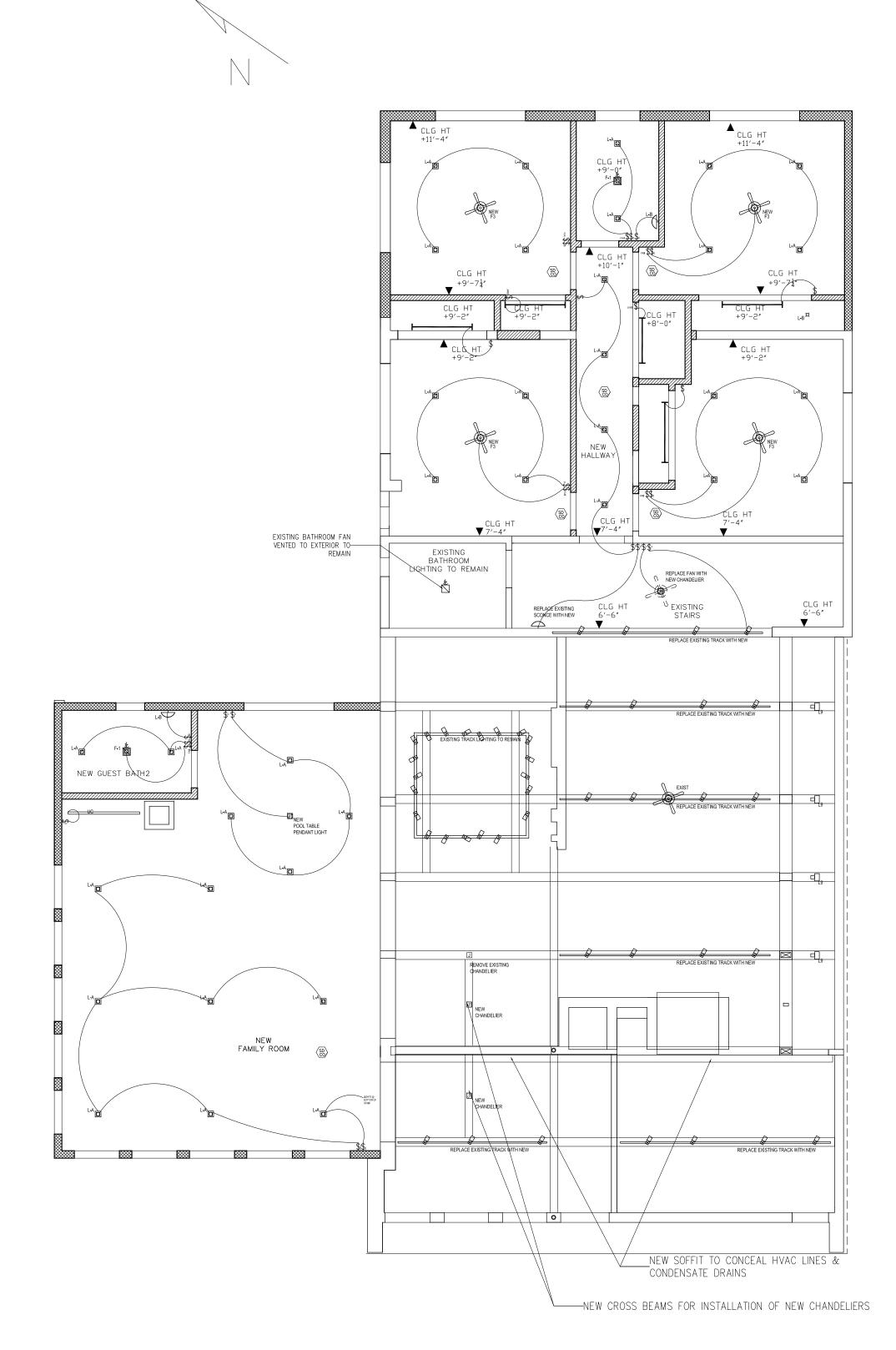
2. WHERE REQUIRED. SINGLE- OR MULTIPLE STATION SMOKE ALARMS SHALL BE INSTALLED IN THE

- LOCATIONS DESCRIBED IN SECTIONS 907.2.10,1.1
 3. SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED AT ALL OF THE FOLLOWING LOCATIONS
- WITHIN THE RESIDENCE:

 ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES
- ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES
 WITHIN 15 FEET FROM THE DOOR TO SUCH ROOM.
- IN EACH ROOM USED FOR SLEEPING PURPOSES.
 ONE EACH STORY WITHIN THE DWELLING UNIT, INCLUDING BELOW-GRADE STORIES AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE
- IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN
- ONE FULL STORY BELOW THE UPPER LEVEL.

 4. POWER SOURCE. REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM A DEDICATED BRANCH CIRCUIT OR THE UN-SWITCHED PORTION OF A BRANCH CIRCUIT ALSO USED FOR POWER AND LIGHTING, AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER-CURRENT
- 5. INTERCONNECTION. WHERE MORE THAN ONE SMOKE ALARM OR DETECTOR IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE SMOKE ALARMS OR DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM OR DETECTOR WILL ACTIVATE ALL OF THE ALARMS OR DETECTORS IN THE INDIVIDUAL UNIT. THE ALARM OR DETECTOR SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS
- WITH ALL INTERVENING DOORS CLOSED.

 6. ACCEPTANCE TESTING. WHEN THE INSTALLATION OF THE ALARM DEVICES IS COMPLETE, EACH DETECTOR AND INTERCONNECTING WIRING FOR MULTIPLE STATION ALARM DEVICES SHALL BE TESTED .IN ACCORDANCE WITH THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NEDA 72



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1ST & 2ND FLOOR REFLECTED CEILING /

LIGHTING PLANS

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DATE: 19 JULY 2022
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SCALE: AS NOTED

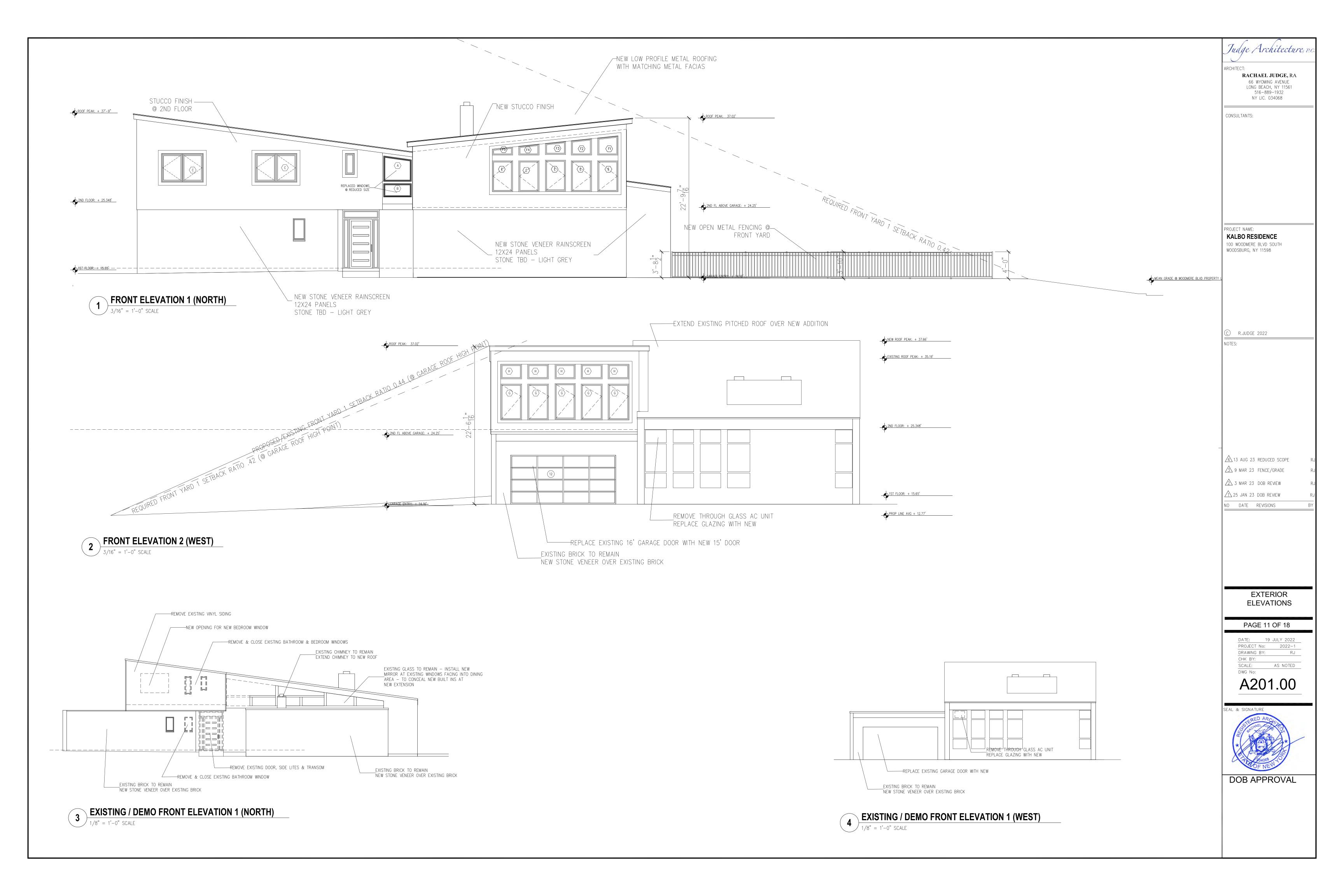
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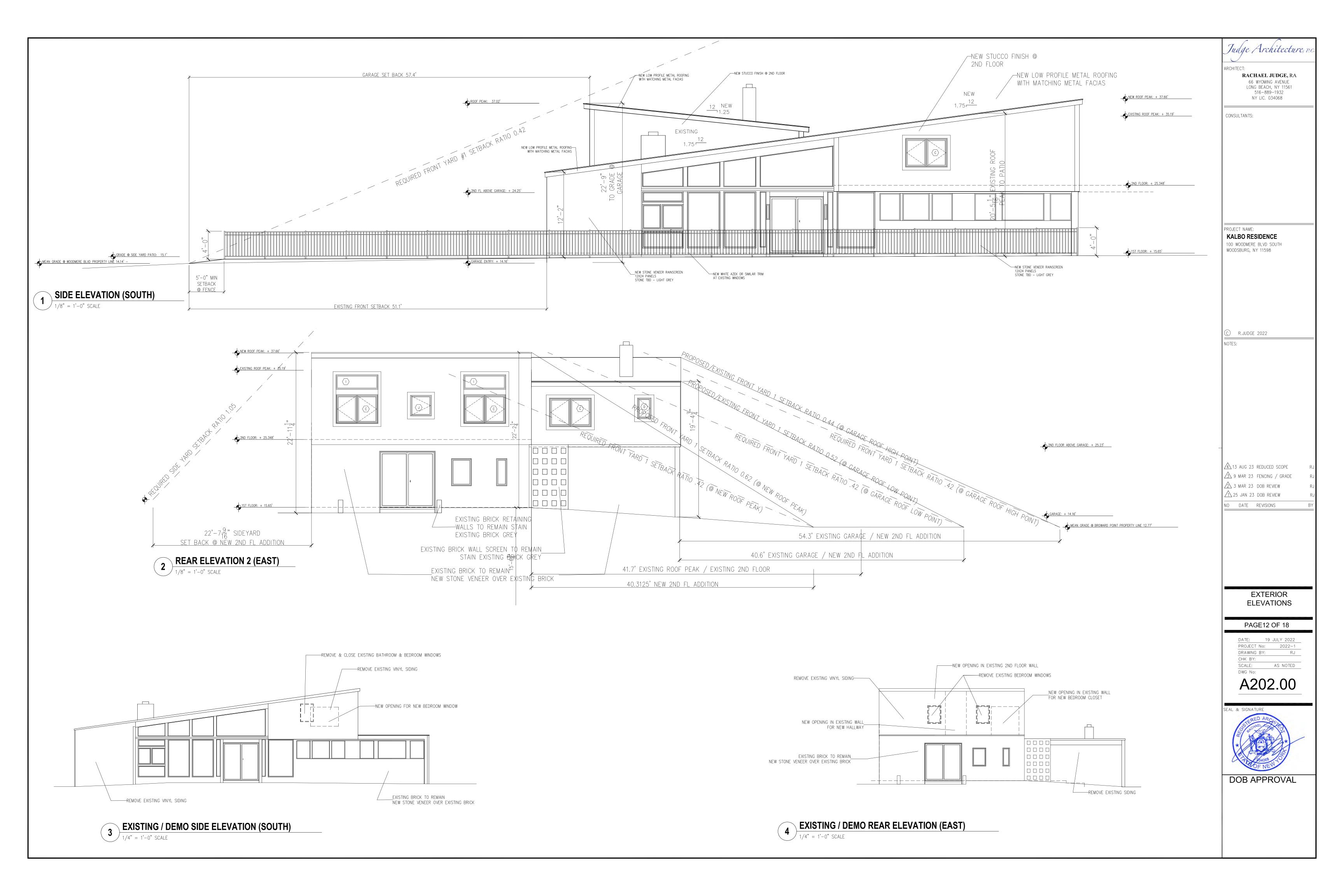


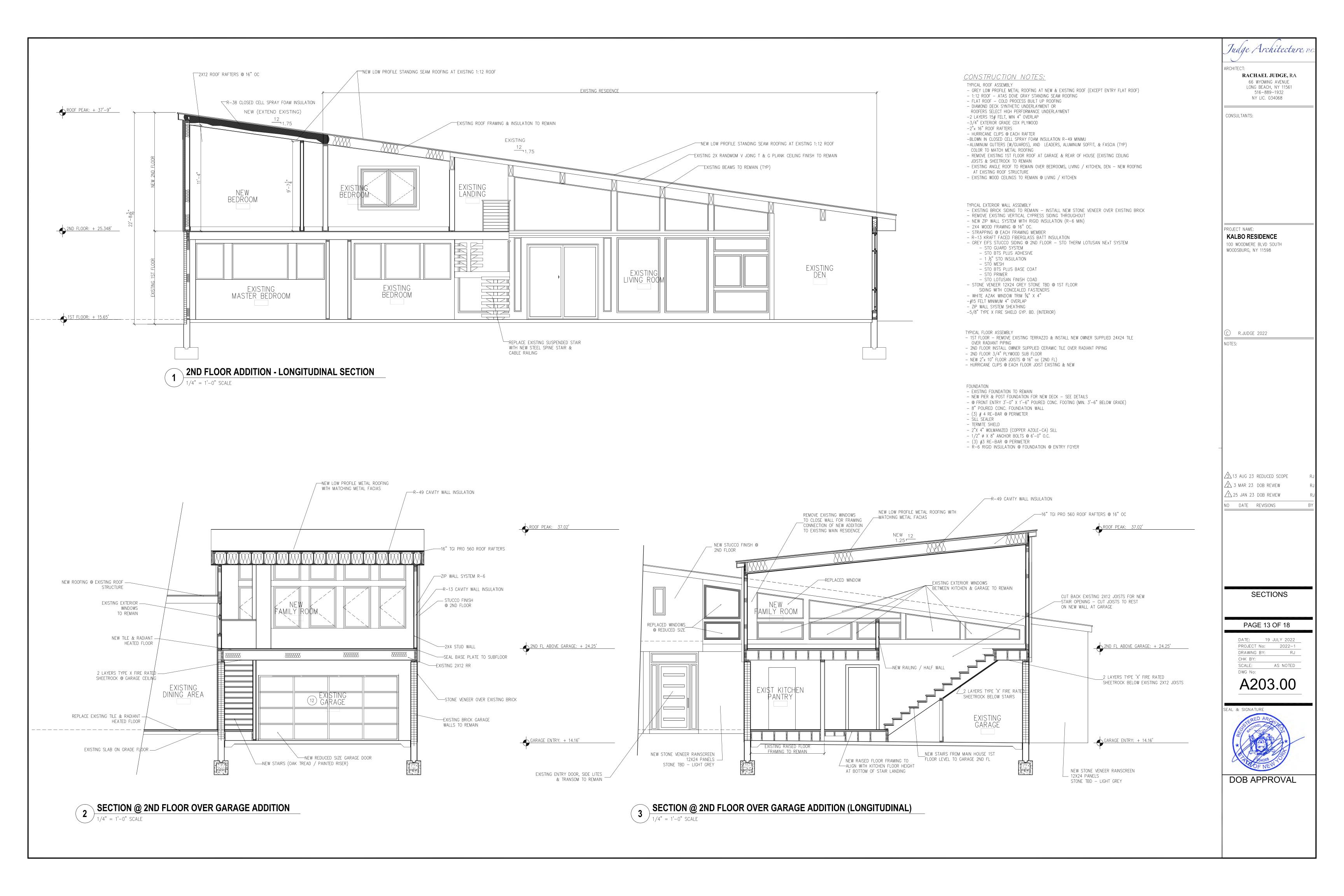
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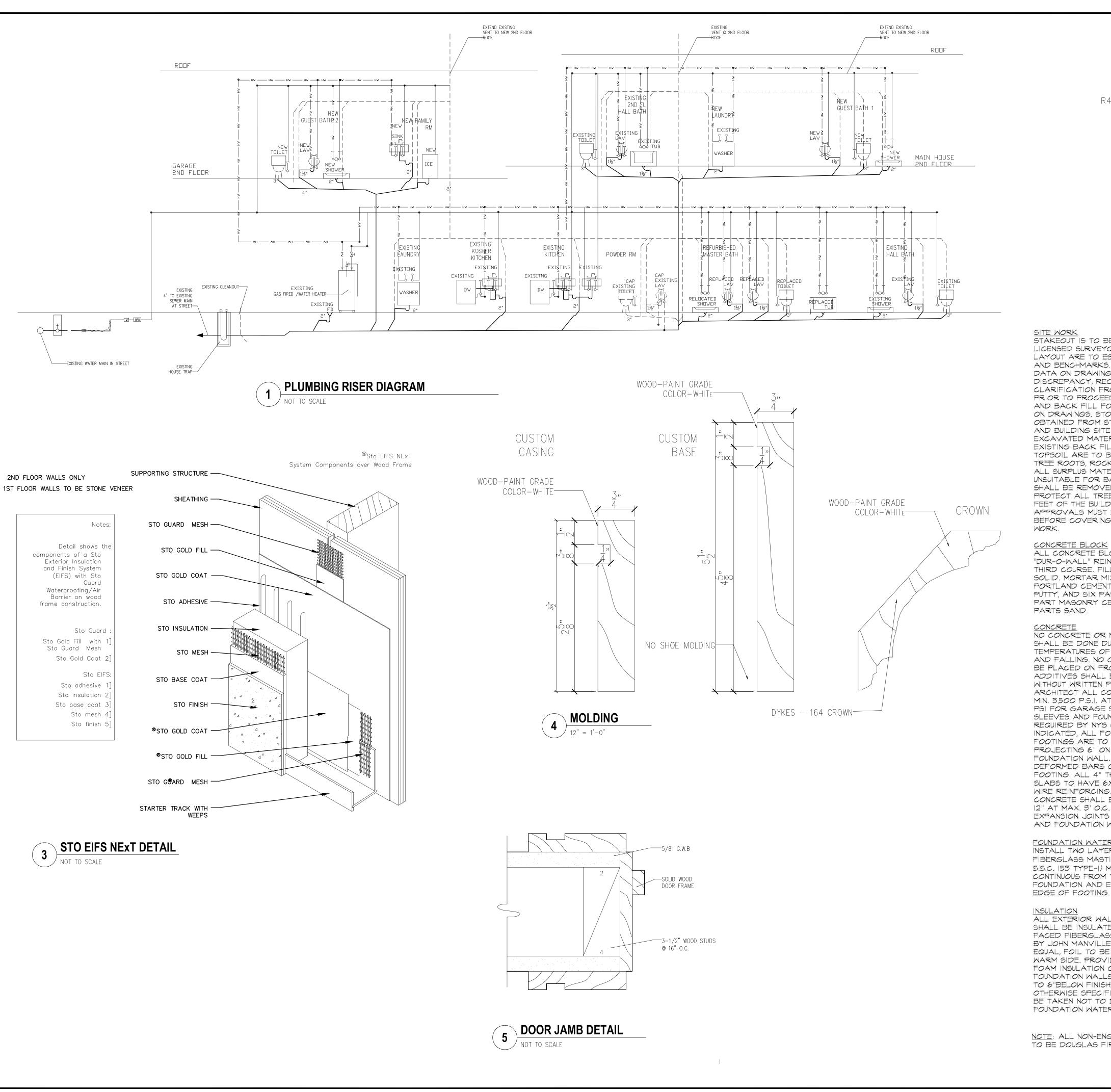
2 1ST FLOOR REFLECTED CEILING / LIGHTING PLAN

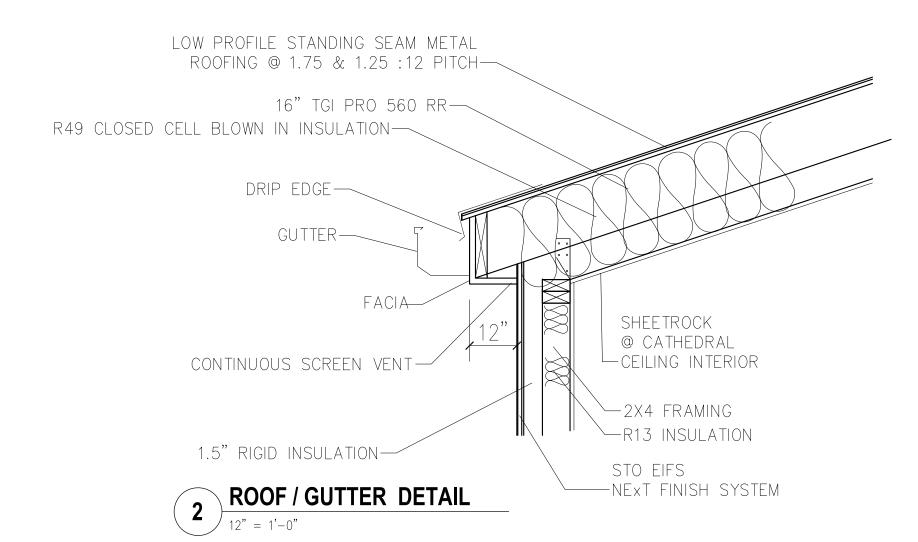
3/16" = 1'-0" SCALE











STAKEOUT IS TO BE PERFORMED BY A FIRE BLOCKING LICENSED SURVEYOR, STAKING AND LAYOUT ARE TO ESTABLISH ALL LINES AS PER SECTION R502.13 OF THE AND BENCHMARKS. VERIFY ALL GIVEN RESIDENTIAL CODE OF NEW YORK DATA ON DRAWINGS. IN CASE OF DISCREPANCY, RECEIVE

CLARIFICATION FROM ARCHITECT PRIOR TO PROCEEDING. EXCAVATE AND BACK FILL FOR WORK INDICATED CONCEALED SPACES OF STUD WALLS ON DRAWINGS. STOCKPILE TOPSOIL OBTAINED FROM STRIPPING DRIVEWAY SPACES AT THE CEILING AND FLOOR AND BUILDING SITE. STOCKPILE ALL EXCAVATED MATERIAL. NEW AND EXISTING BACK FILL MATERIAL AND TOPSOIL ARE TO BE FREE OF WEEDS, TREE ROOTS, ROCKS AND DEBRIS ALL SURPLUS MATERIAL THAT IS

SHALL BE REMOVED FROM THE SITE. PROTECT ALL TREES WITHIN EIGHT FEET OF THE BUILDING. PROPER APPROVALS MUST BE OBTAINED BEFORE COVERING ANY EXCAVATED

ALL CONCRETE BLOCK IS TO HAVE "DUR-O-WALL" REINFORCING EVERY THIRD COURSE. FILL TOP COURSE SOLID. MORTAR MIX TO BE ONE PART PORTLAND CEMENT, ONE PART LIME PUTTY, AND SIX PARTS SAND, OR ONE PART MASONRY CEMENT AND THREE

NO CONCRETE OR MASONRY WORK SHALL BE DONE DURING TEMPERATURES OF 40 DEGREES F. AND FALLING. NO CONCRETE SHALL BE PLACED ON FROZEN SURFACES. NO SUPPLY AND SEWAGE DISPOSAL ADDITIVES SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE APPLICABLE COUNTY DEPARTMENT OF ARCHITECT ALL CONCRETE IS TO BE MIN. 3,500 P.S.I. AT 28 DAYS \$ 4,000 REGULATIONS. APPROVAL OF ALL PSI FOR GARAGE SLAB. PROVIDE ALL PLUMBING MUST BE OBTAINED FROM SLEEVES AND FOUNDATION VENTS AS APPROPRIATE LOCAL AUTHORITIES REQUIRED BY NYS CODE. UNLESS INDICATED, ALL FOUNDATION FOOTINGS ARE TO BE A MIN. 8" DEEP SUPPLY CUTS OF FIXTURES FOR PROJECTING 6" ON EACH SIDE OF THE OWNERS APPROVAL. IN THE EVENT FOUNDATION WALL. PROVIDE TWO #4 DEFORMED BARS CONTINUOUS IN THE CONTRACTOR SHALL CREDIT THE FOOTING. ALL 4" THICK CONCRETE SLABS TO HAVE 6X6 10/10 WELDED WIRE REINFORCING. ANCHOR BOLTS IN CHANGED UNIT. CONCRETE SHALL BE HOOKED 5/8" X 12" AT MAX. 3' O.C. PROVIDE BITUMEN EXPANSION JOINTS BETWEEN SLABS AND FOUNDATION WALLS.

FOUNDATION WATERPROOFING INSTALL TWO LAYERS OF TOWELED ON FIBERGLASS MASTIC. (FED. SPEC. S.S.C. 153 TYPE-I) MEMBRANE TO BE CONTINUOUS FROM TOP OF FOUNDATION AND EXTEND TO LAP

INSULATION ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED WITH FOIL FACED FIBERGLASS BATT INSULATION JOISTS AT 8' O.C. MAXIMUM AND BY JOHN MANVILLE OR APPROVED EQUAL, FOIL TO BE PLACED TOWARD WARM SIDE. PROVIDE 11/2" RIGID FOAM INSULATION ON ALL EXTERIOR FOUNDATION WALLS FROM FOOTING TO 6 BELOW FINISHED GRADE UNLESS OTHERWISE SPECIFIED. CARE SHOULD BE TAKEN NOT TO DAMAGE FOUNDATION WATERPROOFING.

NOTE: ALL NON-ENGINEERED LUMBER TO BE DOUGLAS FIR #2 OR BETTER

FIRE BLOCKING SHALL BE PROVIDED, STATE, TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL).

PROVIDE FIRE BLOCKING IN AND PARTITIONS, INCLUDING FURRED LEVELS. CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIRE BLOCKED AT INTERVALS NOT EXCEEDING 10 FEET.

UNSUITABLE FOR BACK FILL MATERIAL CONTRACTOR SHALL INSTALL WATER SUPPLY AND SANITARY SYSTEM AS INDICATED. PROVIDE HOT AND COLD SHUT-OFF VALVES AT ALL FIXTURES. ALL WATER PIPING TO HAVE CLEANOUTS AT ALL CHANGES OF DIRECTION AND AT BASE OF VERTICAL WASTES. USE 4" CAST IRON THROUGH FOUNDATION WALL PITCHED MIN. 1/8" PER FOOT. TRAP/WASTE SIZES FOR FIXTURES SHALL BE AS FOLLOWS:

DISH WASHER KITCHEN SINK | |/2" LAVATORY | |/4" SHOWER

TOILET ALL SYSTEMS TO HAVE ONE 3" MAIN VENT STACK INCREASED TO 4" THROUGH THE ROOF. PROVIDE FROST PROOF HOSE-BIBS AS INDICATED ON PLANS WITH EASILY ACCESSIBLE DRAIN DRAIN-COCKS. THE WATER SYSTEM SHALL COMPLY TO THE HEALTH STANDARDS AND PRIOR TO CONCEALMENT, PRIOR TO ORDERING, CONTRACTOR SHALL THAT THE OWNER CHANGES, THE

OWNER FOR THE FULL SUBCONTRACTORS COST FOR THE FRAMING AND ROUGH CARPENTRY JOISTS RAFTERS AND STUDS SHALL BE CONSTRUCTION GRADE DOUGLAS

FIR-SOUTH SELECT STRUCTURAL. ALL WOOD SILLS AND WOOD IN CONTACT WITH MASONRY SHALL BE ACQ. ALL EXTERIOR SHEATHING SHALL BE 1/2 CDX DOUGLAS FIR PLYWOOD. SUB-FLOORS TO BE 3/4" CDX PLYWOOD EXTERIOR SHEATHING TO BE COVERED WITH "TYVEK" HOUSE WRAP OR APPROVED EQUAL. BLOCK STUD WALLS AT 1/2 STORY HEIGHTS AND AT ALL UNSUPPORTED EDGES OF PLYWOOD. PROVIDE SOLID BLOCKING AND DIAGONAL BRACING OF FLOOR SOLID BLOCKING UNDER ALL UNSUPPORTED EDGES OF PLYWOOD. ALL CAP PLATES TO BE DOUBLED AND NAILED BOTTOM CAP PLATED TO END OF STUDS. LAP CAP PLATES AT CORNERS. WHERE FLUSH FRAMING OCCURS, USE MIN. 16GA SHEET METAL JOIST HANGERS BY "TECO" OR APPROVED EQUAL. ALL CORNERS TO BE MINIMUM 3/2X4 STUDS. HEADERS SHALL BE MINIMUM 2/2X6 UNLESS NOTED ON PLANS. MINIMUM BEARING FOR STUDS, JOISTS AND BEAMS SHALL

BE 3 1/2". USE DOUBLE JACK STUDS

FOR HEADERS OVER FIVE FEET IN

LENGTH.

GLASS WINDOWS AND DOORS TO BE INSTALLED AS PER SECTION R308 OF THE RESIDENTIAL CODE OF

N.Y.S. ALL GLASS IS TO BE INSULATED LOW-E UNLESS OTHERWISE SPECIFIED. GLASS SUBCONTRACTOR SHALL NOT INSTALL GLASS UNTIL PROPER CLEARANCES ARE PROVIDED. ALL SLIDING GLASS DOORS, SKYLIGHTS AND/OR WINDOWS AS REQUIRED BY CODE, SHALL BE INSULATED TEMPERED GLASS. ALL GLASS DOORS AND WINDOWS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURES SPECIFICATIONS. ALL WINDOWS ARE TO BE CAULKED AND SEALED AS PER 2015 IECC REQUIREMENTS. PROVIDE FLASHING PANS UNDER ALL SLIDER, DOORS, AND WINDOWS WITHIN A 6" OF AN EXTERIOR SURFACE. ALL EXTERIOR DOORS ARE TO BE FULLY WEATHER-STRIPPED. PROVIDE ALL SCREENS AND HARDWARE AS REQUIRED. ALL GLASS IS TO BE FREE OF SCRATCHES AND IMPERFECTIONS AND GUARANTEED BY THE MANUFACTURER FOR A PERIOD OF NO LESS THAN 5 YEARS. ALL WINDOWS TO BE ANDERSEN UNLESS INDICATED

PAINTING AND STAINING

OTHERWISE

INTERIOR WOOD SURFACES-APPLY TO LIGHTLY SANDED SURFACES, WALLS, DOORS, FRAMES, TRIM, AND BASES, ONE COAT WOOD FILLER OR STAIN AND TWO COATS MCKLUSKY'S EGGSHELL FINISH NON-YELLOWING POLYURETHANE. GYPSUM BOARD- MINIMUM ONE COAT PRIMER AND TWO COATS FLAT PAINT. EXTERIOR WOOD SURFACES- TWO COATS EXTERIOR GRADE STAIN. EXTERIOR EXPOSED METAL- MINIMUM ONE COAT ZING CHROMATE AND TWO COATS EXTERIOR ENAMEL ALL MATERIAL SHALL BE OF BEST

QUALITY PITTSBURGH, PRATT & LAMBERT, DUTCH BOY. CABOTS MCKLUSKYS, OR APPROVED EQUAL. CONTRACTOR IS TO PROVIDE SAMPLES OF ALL PAINTS AND STAINS FOR ARCHITECT'S AND/OR OWNERS APPROVAL.

GYPSUM WALL BOARD INSTALLED AS PER SECTION R702.3.2. THROUGH R702.3.6 OF THE INTERNATIONAL RESIDENTIAL CODE GYPSUM WALLBOARD APPLICATION SHALL BE TAPE JOINT SYSTEM. ALL GYPSUM BOARD TO BE 1/2" ON WALLS AND 1/2" ON CEILINGS UNLESS OTHERWISE INDICATED. FINISH JOINTS, J-BEADS. NAIL DIMPLES, CORNERS AND EDGES SHALL BE TAPED AND RECEIVE THREE COATS OF JOINT COMPOUND. ALLOW 24 HOURS TO DRY

BETWEEN COATS. FINAL COAT TO BE SANDED SMOOTH. METAL CORNER BEAD TO BE USED ON ALL OUTSIDE CORNERS AND AROUND ALL OPENINGS.

ECTRICAL ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE AND ALL STATE, LOCAL, AND UTILITY COMPANY CODES AND REGULATIONS. ALL CIRCUITS SHALL BE MINIMUM 15 AMP. POWER WIRING SHALL BE MINIMUM 14 AWG. CONVENIENCE OUTLETS SHALL BE LOCATED 12" ABOVE FINISHED FLOOR UNLESS OTHERWISE INDICATED. ALL SWITCHED TO BE LOCATED 36" ABOVE THE FINISHED FLOOR UNLESS OTHERWISE INDICATED. SUPPLY RECOMMENDED LAMPS IN ALL FIXTURES.

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PROJECT NAME: **KALBO RESIDENCE** 100 WOODMERE BLVD SOUTH

WOODSBURG, NY 11598

(C) R.JUDGE 2022

3 13 AUG 23 REDUCED SCOPE

2 3 MAR 23 DOB REVIEW 1 25 JAN 23 DOB REVIEW

NO DATE REVISIONS

PLUMBING RISER & DETAILS

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19 JULY 2022 PROJECT No: 2022-1 DRAWING BY:

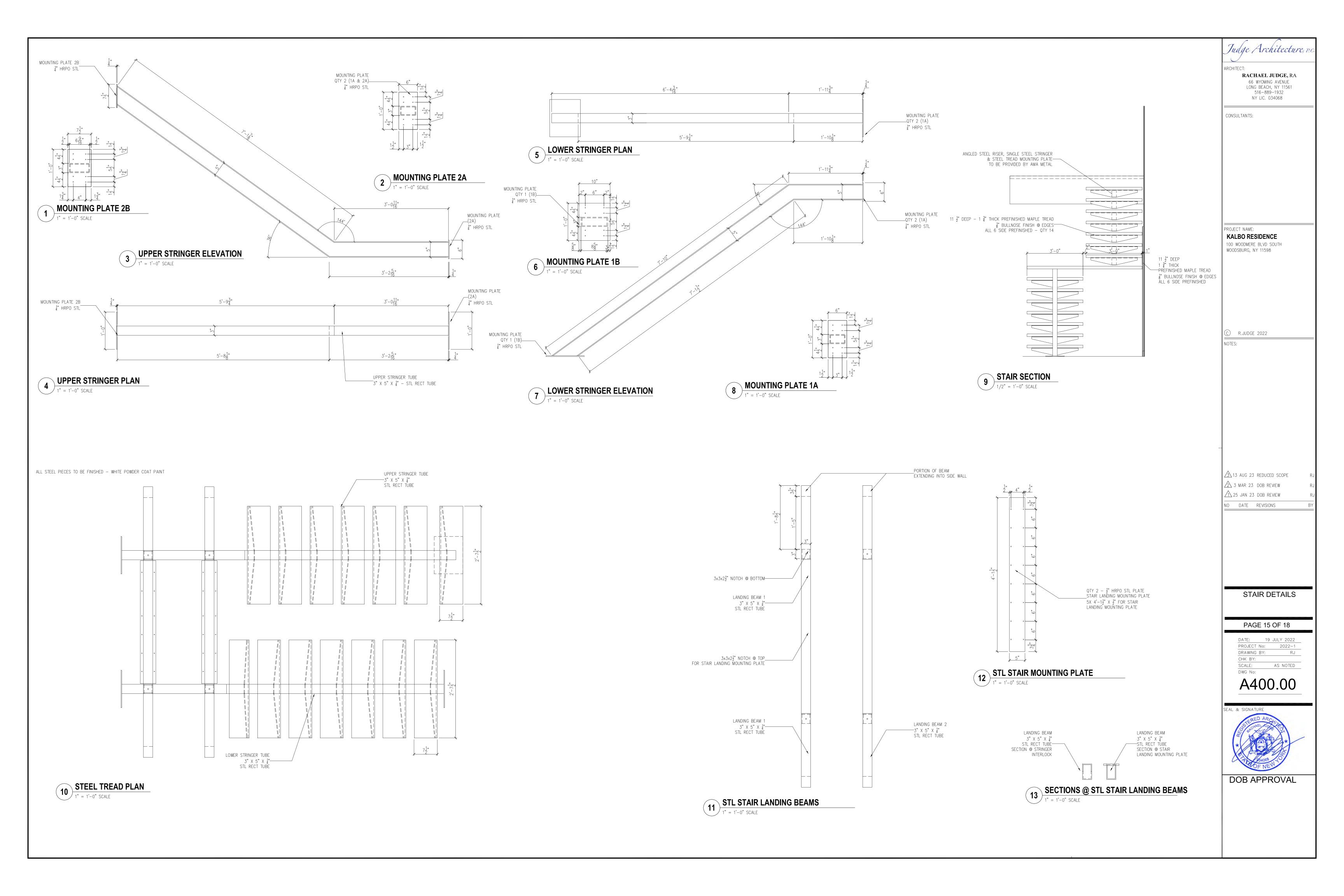
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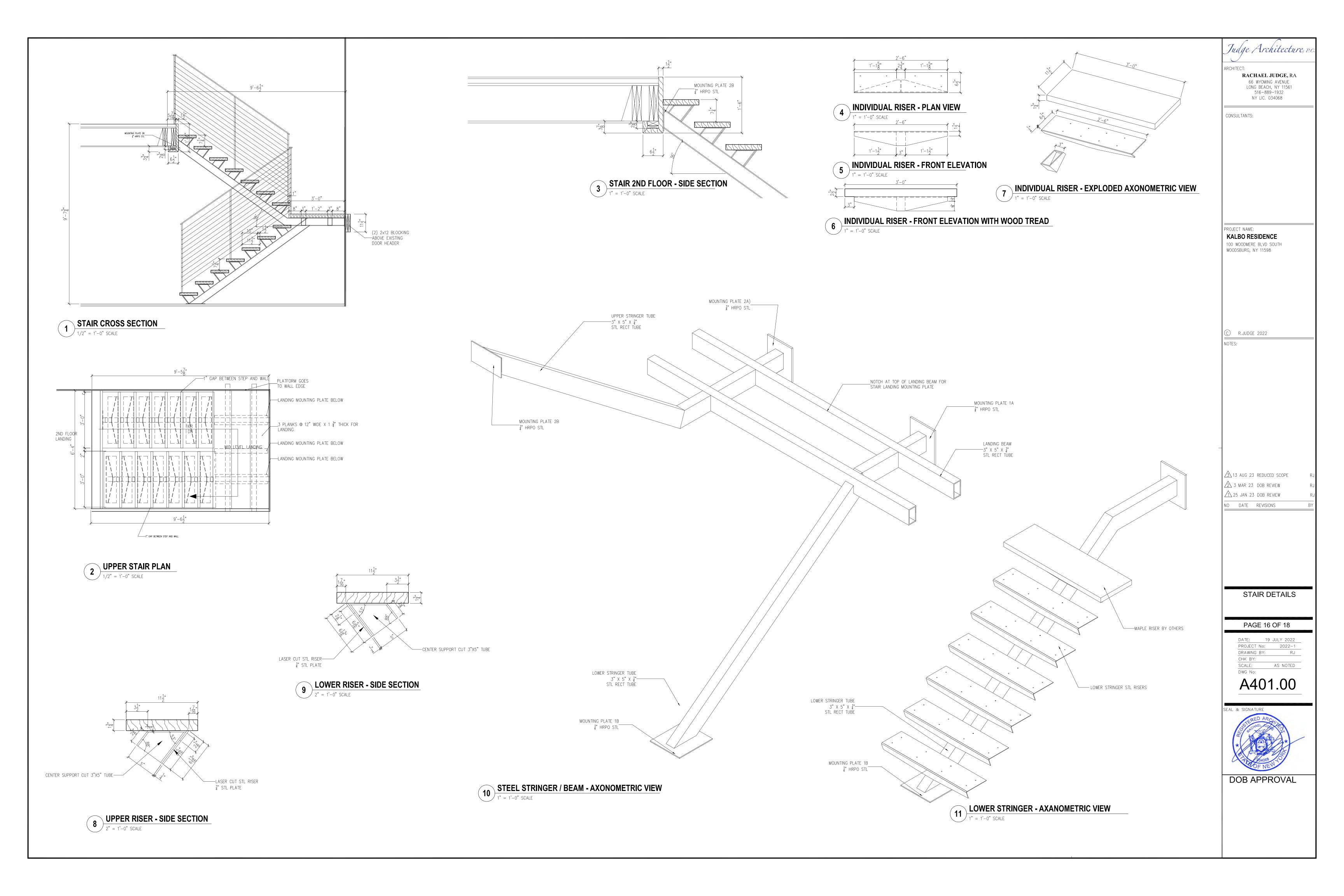
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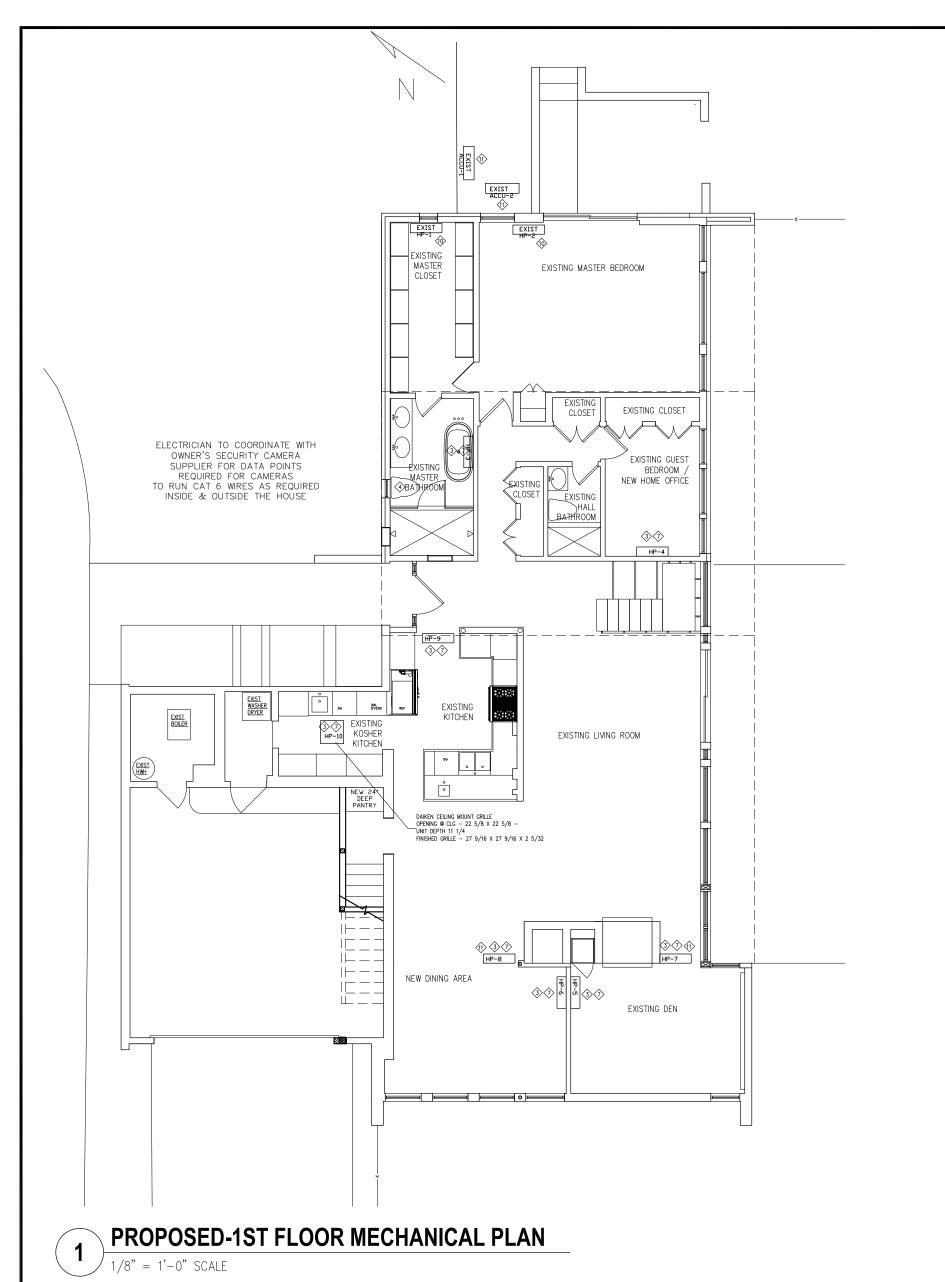
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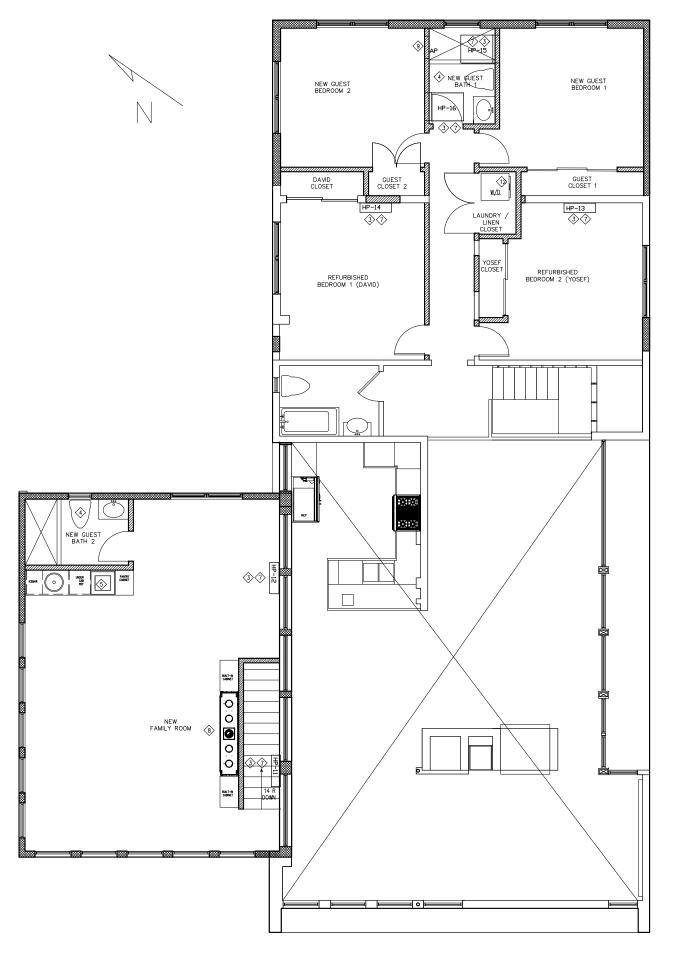


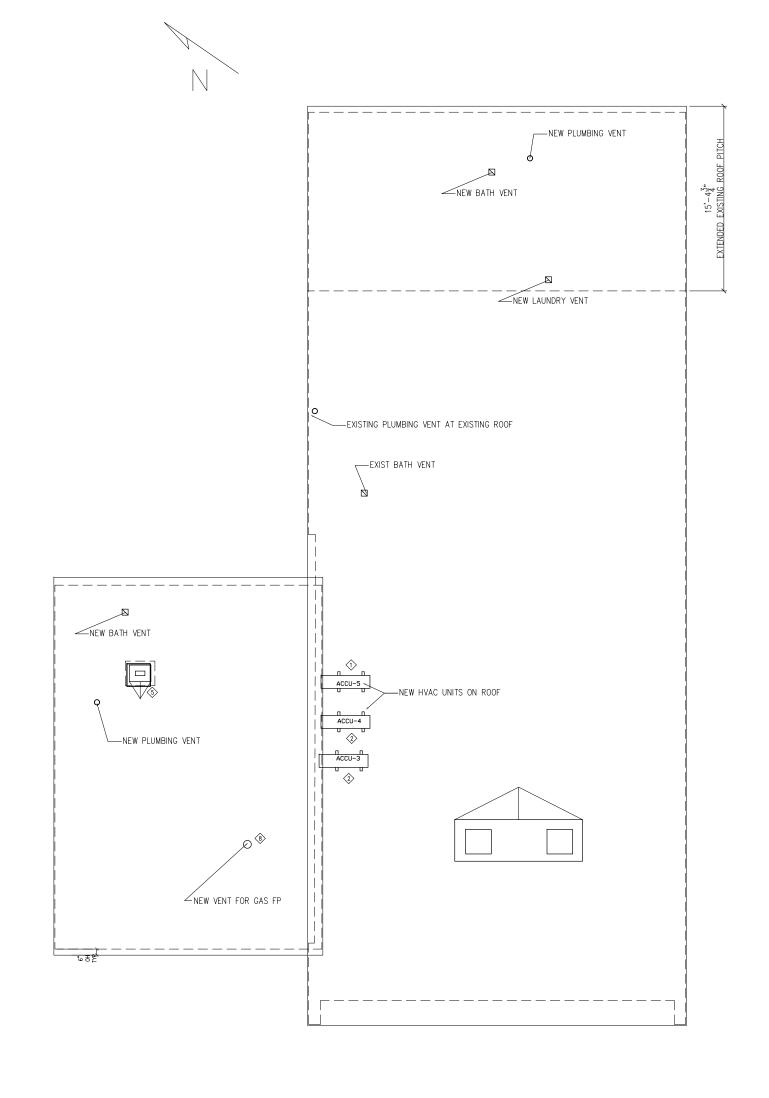
DOB APPROVAL











NOTE ALL FLOORS TO BE RADIANT HEATED

RADIANT SYSTEM NOTES

- 1. IN FLOOR RADIANT HEATING SYSTEM INCLUDING 1/2" PEX TUBING (POLYETHYLENE) 9 IN. ON CENTER-INCLUDING MOUNTING CUPS, ZONE VALVE, ZONE VALVE CONTROLLER, THERMOSTATIC MIXING VALVE WITH MOTOR AND SPACE THERMOSTAT.
- 2. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE RADIANT PANEL ASSOCIATION 2004 DESIGN AND INSTALLATION GUIDELINES.
- 3. PEX TUBING SHALL HAVE AN ASTM F876/877 CERTIFICATION TUBING SHALL HAVE AN OXYGEN DIFFUSION BARRIER THAT MEETS OR EXCEEDS THE RATE OF OXYGEN PERMEATION LIMITATIONS SET BY THE GERMAN DIN STANDARD
- 4. TUBING SHALL BE ViegaPEX BARRIER OR APPROVED EQUAL.
- TUBE PLACEMENT:

FOAM STAPLE-

½" PEX TUBING—

SUBFLOOR-

a) IN SLAB-2" MIN BELOW SURFACE, NO TUBE JOINTS ALLOWED IN SLAB, SLEEVE A MINIMUM OF 4" ON EITHER SIDE OF EXPANSION JOINTS. ANY REPAIRS TO DAMAGED TUBES DURING POUR SHALL BE MADE WITH FACTORY APPROVED FITTING AND SHALL BE WRAPPED. TUBE BENDING RADIUS SHOULD NOT EXCEED MANUFACTURER RECOMMENDATIONS. PCUMARU AND TUBE SHOULD BE PLACED A MINIMUM OF 6 INCHES FROM SLAB PENETRATIONS AND BLOCK OUTS OR SIMILIAR STRUCTURAL EMBEDMENTS.

b) IN JOIST SPACE-PROVIDE 2" AIR GAP BELOW TUBE.

- 6. RECOMMENDED TUBE LENGTH (FOR 5/8" ID) SHALL BE 400FT. MAXIMUM LENGTH SHALL BE 600FT
- 7. TUBE SPACING SHALL BE WHEN EMBEDDED IN CONCRETE SHALL NOT EXCEED 12" ON CENTER. TUBE SPACING WITHIN A JOIST CAVITY SHALL NOT EXCEED 9"ON CENTER.
- 8. MAXIMUM FLUID TEMPERATURES SHALL BE 140'F IN SLAB AND 160"F WHEN UNDERSIDE OF WOOD FLOOR.
- 9. MAXIMUM FLOOR SURF ACE TEMPERATURE SHALL NOT EXCEED 85'F.
- 10. FLUID VELOCITIES SHALL BE NO LESS THAN 1.5 BUT NO GREATER THAN 4 FEET PER SECOND.
- 11. MANIFOLDS SHALL BE EQUIPPED WITH BALANCING VAVLES FOR EACH LOOP WHEN THE LENGTHS OF THE LONGEST AND THE SHORTEST LOOP EXCEED 10% OF EACH OTHER.
- 12. MANIFOLDS LOCATED AT SYSTEM POINTS WHERE AIR IS LIKELY TO ACCUMULATE SHALL BE EQUIPPED WITH AN AIR VENT OR PURGING DEVICE.
- 13. MANIFOLDS SHALL BE EQUIPPED WITH FULLY SEALING BALL VALVES ON THE SUPPLY AND RETURN LINES TO PERMIT SERVICE TO THE MANIFOLD AND TUBE WITHOUT INTERRUPTING PRESSURE IN THE REST OF THE SYSTEM.
- 14. PRESSURE TEST ALL PORTIONS OF THE SYSTEM THAT WILL BE EMBEDDED IN THE FLOORS, WALLS, OR CEILINGS TO 100 PSI OR 1.5 TIMES THE OPERATING PRESSURE (WHICHEVER IS GREATER) FOR A MINIMUM OF 30 MINUTES.
- 15. CARE SHALL BE EXERCISED DURING HANDLING, PLACEMENT AND FINISHING TO AVOID DAMAGE TO TUBE OR SYSTEM COMPONENTS.

THIN-SLAB POURED OVER TUBING

TYPICAL SECTION THROUGH FLOOR

FLOOR JOIST-

INSULATION——

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MECHANICAL PLANS 1ST & 2ND FLOOR

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SCALE:

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AS NOTED



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- SPLIT SYSTEM OUTDOOR UNITS: ACCU-1, 2 3 & 4 - DAIKIN - OUTDOOR HEAT PUMP - 36,000 BTU HEATING & COOLING ACCU - 1 - 5MXS48TVJU CAPACITY- 14 SEER DUCTED / 17.7 SEER ACCU - 2 - 5MXS48TVJU NON-DUCTED / 15.85 SEER MIXED - MODEL
- #4MXS36RMVJUA 2. ACCU-5 & ACCU-6 -DAIKIN - OUTDOOR HEAT PUMP - 47,000 BTU COOLING & 48,500 BTU ACCU - 5 - 5MXS48TVJU HEATING CAPACITY- 15.3 SEER DUCTED / 20.2
- 3. CONDENSATE DRAIN LINE (1") TO INDIRECT WASTE OR TO EXTERIOR — TBD IN FIELD

SEER NON-DUCTED / 17.75 SEER MIXED -

MECHANICAL NOTES

MODEL #5MXS48TVJU

- 4.> NEW BATHROOM EXHAUST FAN (5.) EXTEND GAS BOILER VENT THROUGH ROOF
- INSTALL AS PER MANUF. SPECS. 6) 6X36 WALL MOUNT GRILLE -ARCHITECTURALGRILLE.COM AG20 B FRAME BAR
- GRILLE SATIN ALUMINUM 7. SEE MANUFACTURER SPECIFICATIONS FOR HVAC
- UNIT POWER REQUIREMENTS NEW GAS FIREPLACE VENTED TO ROOF SEE MANUFACTURER SPECIFICATIONS FOR VENTING &
- POWER REQUIREMENTS (9) PROVIDE ACCESS PANEL AT WALL FOR ACCESS TO CONCEALED SLIM DUCTED UNIT FOR ACCESS TO GRILLE AT REAR OF UNIT
- (10) EXISTING HVAC UNIT TO REMAIN
- (1) REPLACEEXISTING OUTDOOR UNIT WITH NEW AS REQUIRED - PROVIDE NEW REFRIGERANT LINES TO EXISTING UNITS & NEW UNITS
- (12) NEW DRYER VENT TO ROOF

MECHANICAL UNIT SPECIFICATIONS

OUTDOOR UNITS: EXISTING UNITS @ REAR/FRONT YARD

NEW @ ROOF ACCU - 3 - 4MXS36RMVJUA ACCU - 4 - 5MXS48TVJU

CONNECTED TO ACCU 2:

INDOOR UNITS: DAIKIN MULTI SPLIT SYSTEM

- CONNECTED TO EXISTING ACCU 1: HP 1 - FTXR12 MASTER BEDROOM - EMURA WALL MOUNT HP 2 - FTXR09 MASTER CLOSET - EMURA WALL MOUNT
- HP 3 FTXR09 MASTER BATHROOM EMURA WALL MOUNT HP 4 - FTXR09 (OFFICE) - EMURA WALL MOUNT
- HP 12 FTXR09 (DAVID BEDROOM) EMURA WALL MOUNT HP 13 - FTXR09 - (YOSEF BEDROOM) - EMURA WALL MOUNT HP 12 - FDMQ09RVJU - (GUEST BEDROOM 1) - CONCEALED SLIM DUCTED HP 13 - FDMQ09RVJU - (GUEST BEDROOM 2) - CONCEALED SLIM DUCTED
- CONNECTED TO ACCU 4: HP 5 - FTXR09 (DEN) - EMURA WALL MOUNT
- HP 6 FTXR09 (DINING) EMURA WALL MOUNT HP 7 - FTXS24LVJU (LIVING ROOM) - WALL MOUNT
- CONNECTED TO ACCU 5:
- HP 10 FTXR18WVJUW9 (FAMILY ROOM 1) EMURA WALL MOUNT HP 11 - FTXR18WVJUW9 - (FAMILY ROOM 2) - EMURA WALL MOUNT HP 11 - FTXR18WVJUW9 - (FAMILY ROOM 2) - EMURA WALL MOUNT
- CONNECTED TO ACCU 6: HP 8 - FTXS24LVJU (LIVING ROOM) -EMURA WALL MOUNT HP 9 - FTXR12 (KITCHEN) - EMURA WALL MOUNT HP 10 - FFQ09Q2VJU - (KOSHER KITCHEN) - CEILING CASSETTE

